

CITY OF OWOSSO
HISTORIC DISTRICT COMMISSION
APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

This application must be received by the Owosso Building Department a minimum of ten working days prior to the scheduling of the application on the Historic District Commission agenda. Applicants are strongly encouraged to conduct a preliminary discussion with staff and/or the Historic District Commission prior to the consideration of an application. The Commission generally meets on the Third Wednesday of each month.

Please consult the Secretary of the Interior's Standards for Rehabilitation and the Historic District Commission guidelines for specific details on permissible alterations to the exterior of a structure or for the construction or demolition of any structure within the Historic District that require a CoA.

The following information shall be attached to this application. Additional information is encouraged:

1. A detailed plan drawn to a legible scale depicting the proposed alteration including size, a detailed description of materials and finishing work to be completed. If the size of the plan exceeds 11x17 then additional copies may be requested.
 - Plan shall show existing property lines and any prominent features on the site.
2. A minimum of the following photographs labeled to indicate the direction of view:
 - Current photos of the structure as seen from the street and/or façade of alteration;
 - Close up of existing detail in present condition proposed for alteration.

Date: 4/4/2014

Property Address: 201 N. WATER ST. Owner's Name: CHAMBER SUPPORT CORP.

Phone One: 723-5149 Other Phone: — Email: jcleason@shirawasseechamber.org

Applicants Address: 934 CLARK ST.
LANSING, MI 48906 Applicants Name: RYAN N. HENRY
KINCAID HENRY BUILDING GROUP

Phone One: 517 896 2552 Other Phone: — Email: r.henry@kincaidhenry.com

Does the property have or will it have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRosset-Hale single state construction code act, 1972 PA 230, MCL 125.1501-12501531*. YES

Description of Work proposed, BE SPECIFIC (attach sheets describing activities, materials, dimensions, etc.)

Applicant's Signature [Signature]

SEE ATTACHED DOCUMENTS

Property Owner's Signature _____

Please contact the Owosso Building Department for further information 989.725-0537 during business hours, or sarah.warren-riley@ci.owosso.mi.us.

Return to City Hall, 301 W. Main St., Owosso, MI 48867

*"Fire alarm system" means a system designed to detect and annunciate the presence of fire or by-products of fire. Fire alarm system includes smoke alarms. "Smoke alarm" means a single-station or multiple-station alarm responsive to smoke and not connected to a system. As used in this subdivision, "single-station alarm" means an assembly incorporating a detector, the control equipment, and the alarm sounding devices into a single unit, operated from a power supply either in the unit or obtained at the point of installation.

"Multiple station alarm" means 2 or more single station alarms that are capable of interconnection such that actuation of 1 alarm causes all integrated separate audible alarms to operate.



HDC Application – Owosso Armory Facade Scope of Work

APPLICANT: Kincaid Henry Building Group, Inc.
ADDRESS: 934 Clark Street
Lansing, MI 48906
PHONE: C (517) 896-2552 E-MAIL: r.henry@kincaidhenry.com
DATE: 4/7/14
ADDRESS: 201 North Water St.

1. **General Project Overview –** The Owosso Armory redevelopment project is a major redevelopment / historic renovation project. The Armory's historic features will be maintained while it will be repurposed as a office center for area business, economic development, business incubation, shared co-working spaces, small to mid size office users, community training and meeting spaces as well as drop in office space. The current Chamber of Commerce building that sits directly in front of the Armory will be raised and it is the intent that the City of Owosso will use this building structural components to construct a new pavilion along with the rest of the reconstruction proposed to the adjacent City parking lot to the south of the Armory.

2. **Façade Scope of Work –**
 - a. Tuck point with mortar match to existing mortar loose areas on the building.
 - b. Install a new asphalt shingle roof.
 - c. Remove brick infill in existing openings and install matching Traco windows to the existing.
 - d. Install a new main entry system, as depicted in the attached drawings, with hinged wooden doors along with a new glazed storefront double door system with a historic replication transom above.
 - e. Install a south entry glazed storefront double door system at the existing south overhead door for access to the lower floor from grade.
 - f. Install a glazed storefront window system on the river side of the façade along with a deck.
 - g. Repaint existing metal exterior stair systems.
 - h. Remove all bars over windows.
 - i. Where existing chamber building is construct a new community performance space.



OWOSSO ARMORY

HDC SUBMISSION

04/04/2014

PROJECT LOCATION: 201 N. WATER ST.
OWOSSO, MI 48867

OWNER: CHAMBER SUPPORT CORPORATION
215 N. WATER ST
OWOSSO, MI 48867

DEVELOPER: KINCAID HENRY BUILDING GROUP
RYAN N. HENRY / RYAN J. KINCAID
934 CLARK ST.
LANSING, MI 48906

ARCHITECT OF RECORD: KRAEMER DESIGN GROUP, PLC
ROBERT J. KRAEMER, RA, NCARB, IIDA
STATE OF MICHIGAN CERTIFICATE NO. 1301040246
1420 BROADWAY
DETROIT, MI 48226
www.thekraemeredge.com
(313) 965-3399

CIVIL ENGINEER: GIFFELS WEBSTER
MICHAEL G. DARGA, PE
LICENSE # 35471
28 WEST ADAMS SUITE 1200
DETROIT, MI 48226

LANDSCAPE ARCHITECT: GIFFELS WEBSTER
MARK JON HANSEN, RLA
LICENSE # 1278
28 WEST ADAMS SUITE 1200
DETROIT, MI 48226

STRUCTURAL ENGINEER: SDI STRUCTURES
ELISABETH WONG
LICENSE #51466
275 EAST LIBERTY
ANN ARBOR, MI 48104

MECHANICAL AND ELECTRICAL ENGINEER: SYSTEMS SOLUTIONS CONSULTANTS
MIDORAG MASIC PE
LICENSE # 6201052062
1001 WOODWARD AVE. SUITE 920
DETROIT, MI 48226

CONSTRUCTION MANAGER: KINCAID HENRY BUILDING GROUP, INC.
PROJECT MANAGER: DUWAYNE JOHNSON
934 CLARK ST.
LANSING, MI 48906

CODE SUMMARY

PROJECT DESCRIPTION: BRIEF DESCRIPTION INCLUDING # STORIES, USE, WHETHER PROJECT IS ADAPTIVE REUSE, RENOVATION, NEW CONSTRUCTION, ETC.

ZONING: #####

OCCUPANCY CLASSIFICATION: (LIST ALL)

CONSTRUCTION TYPE: (TYPE, SPRINKLERED, FIRE ALARM SYSTEM)

OCCUPANT LOAD: # PERSONS

APPLICABLE CODES:

BUILDING: MICHIGAN BUILDING CODE (MBC) 2009 - CHAPTER 34 COMPLIANCE ALTERNATIVES. INTERNATIONAL BUILDING CODE (IBC) 2009 AS REFERENCED BY MBC.

MECHANICAL: MICHIGAN MECHANICAL CODE (MMC) 2009

PLUMBING: MICHIGAN PLUMBING CODE (MPC) 2009

ELECTRICAL: MICHIGAN/NATIONAL ELECTRICAL CODE (NEC) 2008 W/PART 8

LIFE SAFETY: MICHIGAN BUILDING CODE (MBC) 2009 - CHAPTER 34, DETROIT FIRE CODE

ENERGY: MICHIGAN UNIFORM ENERGY CODE (MUEC) 2009 - REFERENCES ASHRAE 90 - EXEMPT PER MUEC SECTION 101.4.2

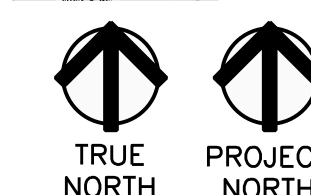
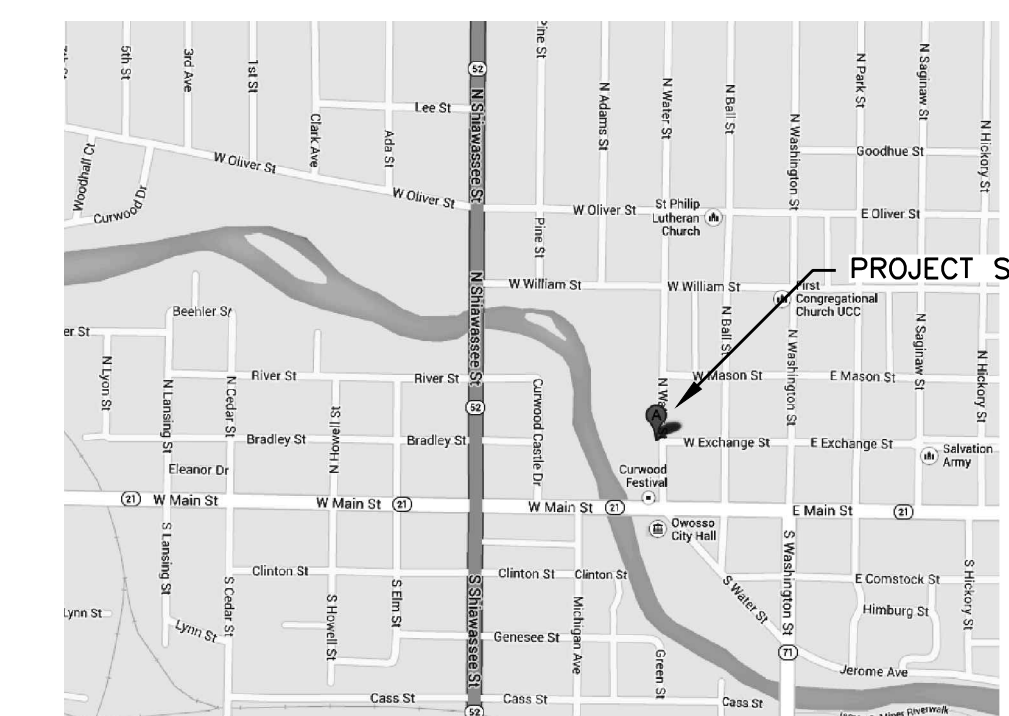
ACCESSIBILITY: MICHIGAN BUILDING CODE (MBC) 2009 - CHAPTER 34 CC/ANSI A117.1 2006 - WHERE REFERENCED

ELEVATOR: ASME A17.1-2004, ASME A18.1-2003
DETROIT ELEVATOR CODE

BID ALTERNATES

1. PROVIDE ALTERNATE RESILIENT RFT-3 FLOORING AT LOBBY #100 AND LOBBY #215
BASE BID: CERAMIC TILE CTF-2
SEE SHEET A701, A712, A713
2. REMOVE AND PROVIDE NEW SHINGLE ROOF
BASE BID: SHINGLE ROOF TO REMAIN - REPAIR AS REQUIRED.
3. PROVIDE ALTERNATE DEEPER WINDOWS ALONG NORTH FACADE.
BASE BID: WINDOWS TO REPLICATE EXISTING WIDTH AND SIZE
SEE SHEET A201, A202, A601
4. PROVIDE ALTERNATE CHIMNEY AND ASSOCIATED COPING
BASE BID: EXISTING CHIMNEYS TO REMAIN AND CAPPED.
SEE SHEET AD104, A104, A201, A202, A203, A204
5. PROVIDE ALTERNATE ACCESSIBLE PASSENGER LIFT REMOVE EXISTING WOOD FRAMED STAIRS, ELEVATED FLOOR AND FLOOR SUPPORT. INSTALL COMPOSITE METAL DECK WITH 6" REINFORCED CONCRETE SLAB AT FIRST FLOOR ELEVATION. INSTALL WOOD FRAMED PLATFORM AT STAGE ELEVATION AS INDICATED IN DRAWINGS - PLATFORM TO BE SUPPORTED ON NEW CONCRETE SLAB AND EXISTING LOAD-BEARING MASONRY WALLS. COORDINATE CONSTRUCTION WITH PASSENGER LIFT MANUFACTURER (SAVARIA) REQUIREMENTS.
BASE BID: REMOVE EXISTING STAIRS AND ELEVATED FLOOR AND INSTALL NEW WOOD FRAMING AND FLOORING.
SEE SHEET AD101, AD102, AD103, A101, A102, S101, S201.
6. PROVIDE ALTERNATE CARRIAGE DOORS 100B, FRAME AND ASSOCIATED HARDWARE.
BASE BID: PROVIDE ONLY DOORS 100A.
SEE SHEET A102, A601.

LOCATION MAP



KraemerDesignGroup
1420 Broadway | Detroit, MI 48226 | p 313 965 3399 | f 313 965 3555
www.thekraemeredge.com

Architect

Consultant

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HDC SUBMISSION	04-04-14
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DD OWNER REVIEW	09-27-13
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Project Number 2013074

Sheet Title
COVER

Sheet Number

D

C

SHEET INDEX

B

SHEET INDEX

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Architect

Consultant

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Project / Owner

Seal

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Project Number 2013074

Sheet Title SHEET INDEX

Sheet Number

G100

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PLOTTED ON 4/4/2014 11:07 AM | PLOTTED BY LAURA MANN

1

2

3

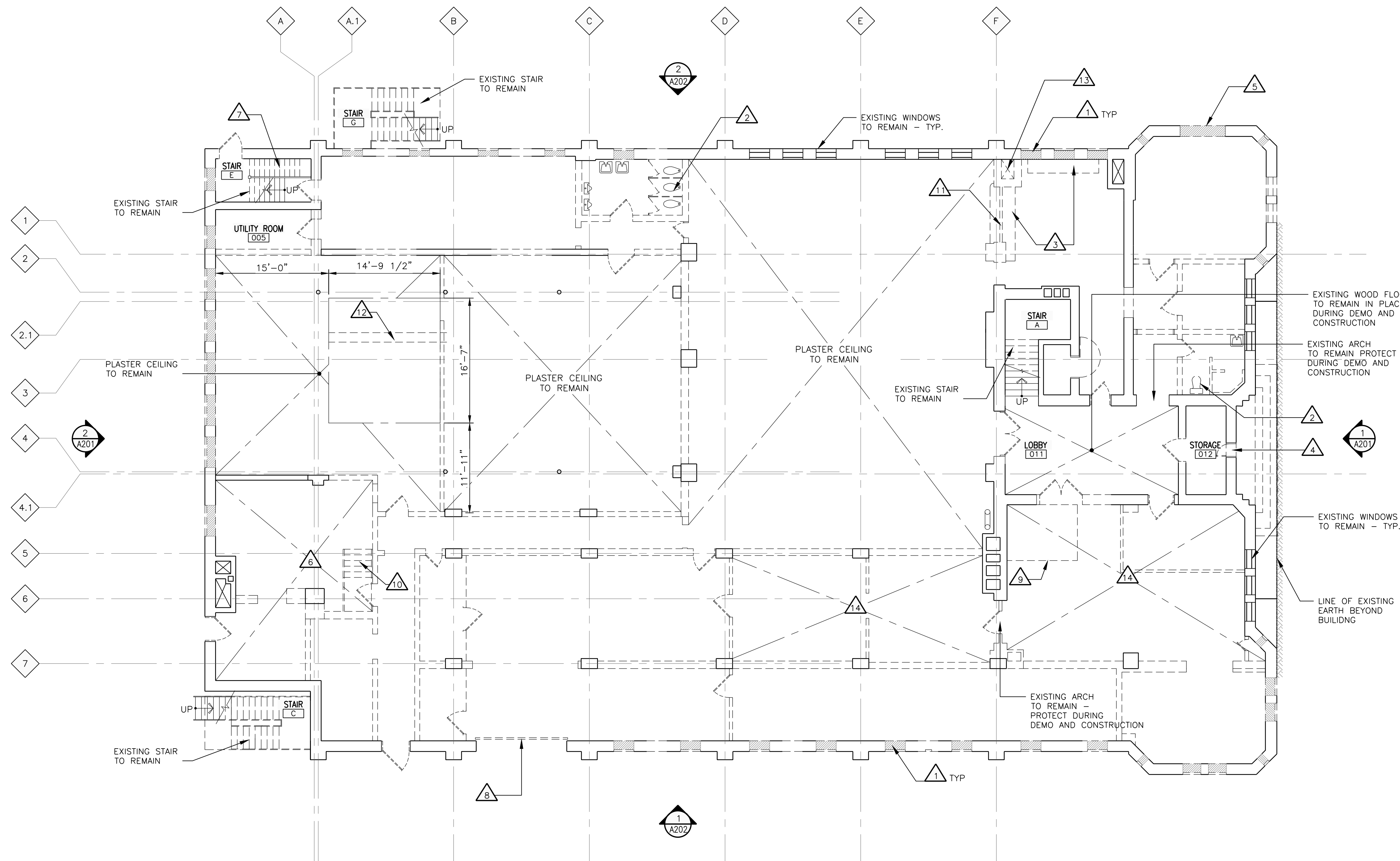
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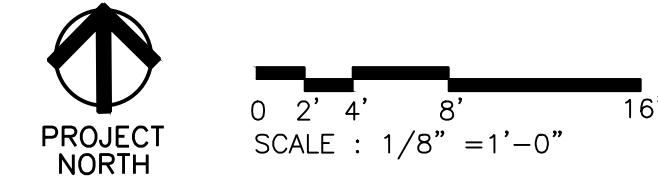
C

B

A



GROUND FLOOR DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"



GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- CONTRACTOR TO CONDUCT WALK-THROUGH OF ENTIRE BUILDING TO GAIN UNDERSTANDING OF COMPLETE SCOPE OF DEMOLITION.
 - PREMISES WILL BE ACCEPTED IN AN "AS-IS" CONDITION AND "WHERE IS."
 - CONTRACTOR TO PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS NECESSARY TO PROVIDE FOR ADEQUATE FIRE PROTECTION AND FIRE FIGHTING.
 - CONTRACTOR TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
 - CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
 - SAW CUT THROUGH EXISTING MATERIALS TO PROVIDE A SMOOTH, STRAIGHT EDGE (CLEAN EDGE) FROM WHICH TO REMOVE EXISTING MATERIALS.
 - LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS.
 - CONTRACTOR TO LEGALLY DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
 - REMOVE ALL RADIATORS AND ASSOCIATED PIPING. REMOVE ALL PIPING, INCLUDING STEAM LINES, SANITARY LINES AND WATER LINES INCLUDING FIRE PROTECTION PIPING AND ASSOCIATED EQUIPMENT.
 - REMOVE ALL EXISTING APPLIED FLOORING DOWN TO SUBSTRATE.
 - REMOVE ALL MISCELLANEOUS DEBRIS, STORED ITEMS, FURNITURE, FIXTURES AND EQUIPMENT.
 - REMOVE ALL DOORS, FRAMES, AND ASSOCIATED HARDWARE, INCLUDING HINGES, SEALS, THRESHOLDS AND STOPS, AS INDICATED ON PLAN. SALVAGE DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
 - REMOVE ALL SUSPENDED CEILING INSTALLATIONS TO BUILDING STRUCTURE - U.N.O.
 - PLASTER COLUMN ENCLOSURES AND FIREPROOFING TO REMAIN IN PLACE.
 - REMOVE ALL WINDOW TREATMENTS INCLUDING HARDWARE, BRACKETS, ETC.
 - REMOVE ALL DIRECTIONAL AND INFORMATIONAL SIGNAGE.
 - REMOVE ALL CORNER GUARDS.
 - REMOVE ALL APPLIED WALL TREATMENTS/FINISHES, INCLUDING TILE, TO SUBSTRATE, U.N.O.
 - REMOVE ALL APPLIED TRIM/MOULDING, INCLUDING BASE, WAINSCOT, CHAIR RAIL, CROWN, ETC.
 - REMOVE ALL INTERIOR PARTITIONS WITH THE EXCEPTION OF THE FOLLOWING (U.N.O.):
 - STAIR SHAFTS
 - AS SHOWN IN PLANS

SALVAGE

- DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
- EXISTING WOOD FLOORING.
- EXISTING WOOD TRIM.

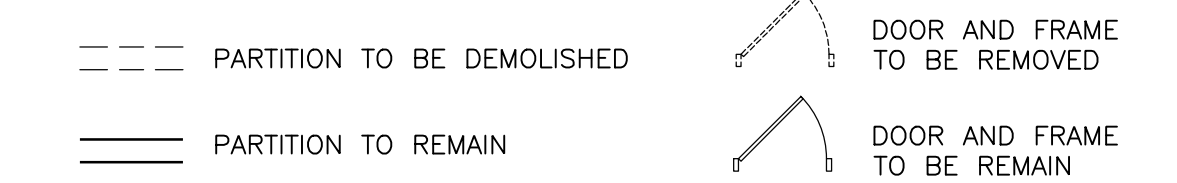
ITEMS TO REMAIN

- ALL ROOF DRAIN CONDUCTORS.
- STAIR SHAFT ENCLOSURE, STAIR SYSTEM.
- FIRE ESCAPE.
- EXISTING WINDOWS, FRAMES TRIM AND SILLS.
- STAIRS A, C, E AND G.
- EXISTING ARCH AS NOTED.

DEMOLITION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- REMOVE EXISTING BRICK INFILL.
 - REMOVE ALL PLUMBING FIXTURES AND BATHROOM PARTITIONS.
 - REMOVE EXISTING CASEWORK.
 - REMOVE EXISTING PARTIAL HEIGHT DOOR.
 - REMOVE EXISTING BRICK INFILL - COORDINATE FINAL OPENING DIMENSIONS WITH SPECIFIED LOUVER.
 - REMOVE ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AND ASSOCIATED SUPPORT STRUCTURES. AREA TO BE INFILLED W/ NEW SLAB AT GROUND FLOOR LEVEL.
 - REMOVE PORTION OF EXISTING STAIR.
 - REMOVE OVERHEAD DOOR, TRACKS AND COUNTERBALANCES - STEEL JAMBS TO REMAIN IN PLACE.
 - REMOVE PORTION OF FLOOR FOR ELEVATOR PIT - REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILS.
 - REMOVE EXISTING STAIR AND ALL ASSOCIATED HARDWARE FROM LANDING AND FIRST FLOOR.
 - REMOVE SERVICE WINDOWS AND COUNTER.
 - REMOVE EXISTING BEAM.
 - REMOVE DUMBWAITER, DUMBWAITER SHAFT AND ALL ASSOCIATED HARDWARE AND ACCESSORIES.
 - REMOVE EXIST. WD FLOOR ASSEMBLY DOWN TO CONCRETE SLAB BELOW - SALVAGE EXIST. WOOD FLOORING

DEMOLITION LEGEND



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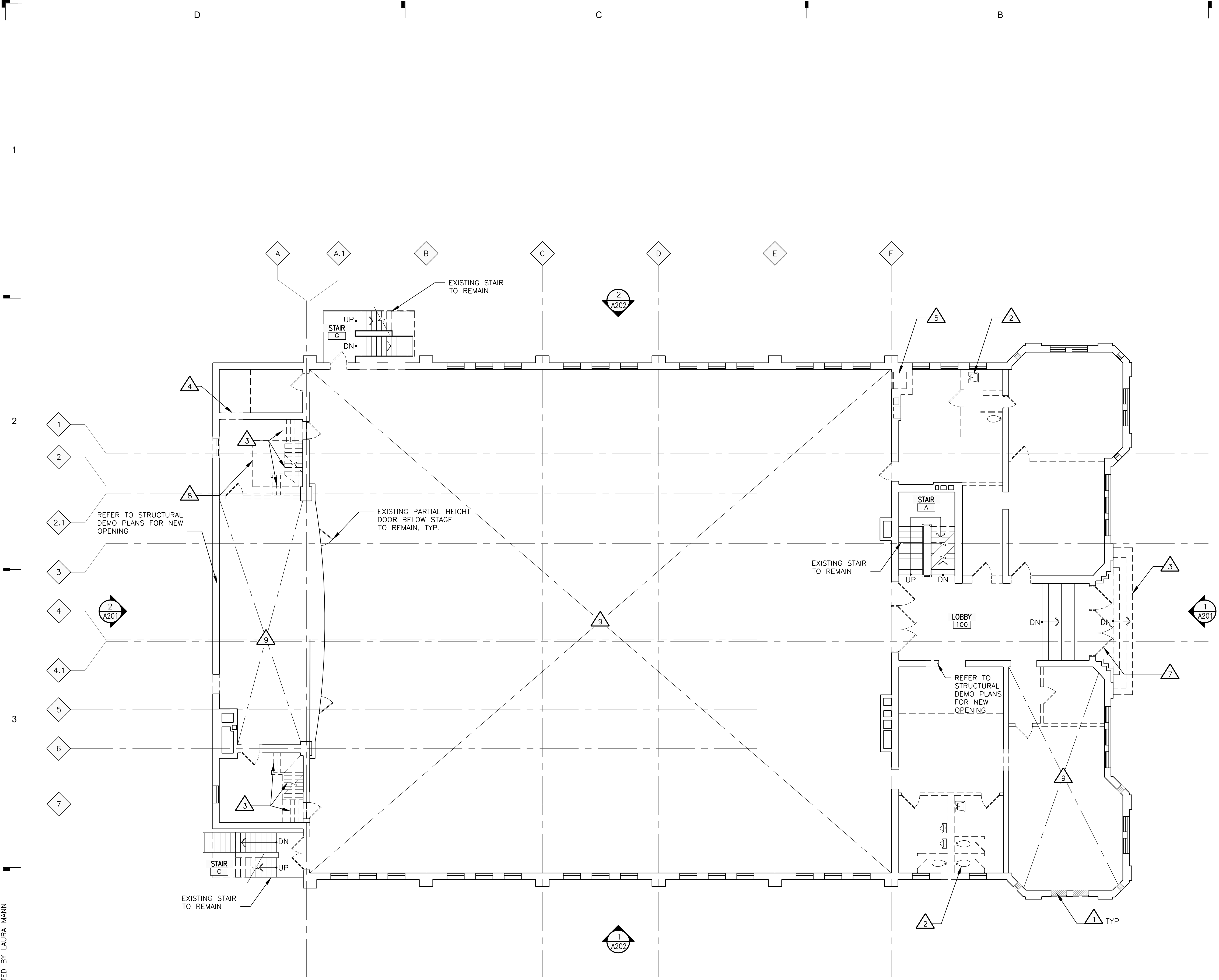
Project Number 2013074

Sheet Title
GROUND FLOOR DEMOLITION PLAN

Sheet Number

AD101

PLOTTED ON 4/4/2014 11:07 AM | PLOTTED BY LAURA MANN



FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- A. CONTRACTOR TO CONDUCT WALK-THROUGH OF ENTIRE BUILDING TO GAIN UNDERSTANDING OF COMPLETE SCOPE OF DEMOLITION.
 - B. PREMISES WILL BE ACCEPTED IN AN "AS-IS" CONDITION AND "WHERE IS."
 - C. CONTRACTOR TO PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS NECESSARY TO PROVIDE FOR ADEQUATE FIRE PROTECTION AND FIRE FIGHTING.
 - D. CONTRACTOR TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
 - E. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
 - F. SAW CUT THROUGH EXISTING MATERIALS TO PROVIDE A SMOOTH, STRAIGHT EDGE (CLEAN EDGE) FROM WHICH TO REMOVE EXISTING MATERIALS.
 - G. LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS.
 - H. CONTRACTOR TO LEGALLY DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
 - I. REMOVE ALL RADIATORS AND ASSOCIATED PIPING. REMOVE ALL PIPING, INCLUDING STEAM LINES, SANITARY LINES AND WATER LINES INCLUDING FIRE PROTECTION PIPING AND ASSOCIATED EQUIPMENT.
 - J. REMOVE ALL EXISTING APPLIED FLOORING DOWN TO SUBSTRATE.
 - K. REMOVE ALL MISCELLANEOUS DEBRIS, STORED ITEMS, FURNITURE, FIXTURES AND EQUIPMENT.
 - L. REMOVE ALL DOORS, FRAMES, AND ASSOCIATED HARDWARE, INCLUDING HINGES, SEALS, THRESHOLDS AND STOPS, AS INDICATED ON PLAN. SALVAGE DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
 - M. REMOVE ALL SUSPENDED CEILING INSTALLATIONS TO BUILDING STRUCTURE - U.N.O.
 - N. PLASTER COLUMN ENCLOSURES AND FIREPROOFING TO REMAIN IN PLACE.
 - O. REMOVE ALL WINDOW TREATMENTS INCLUDING HARDWARE, BRACKETS, ETC.
 - P. REMOVE ALL DIRECTIONAL AND INFORMATIONAL SIGNAGE.
 - Q. REMOVE ALL CORNER GUARDS.
 - R. REMOVE ALL APPLIED WALL TREATMENTS/FINISHES, INCLUDING TILE, TO SUBSTRATE, U.N.O.
 - S. REMOVE ALL APPLIED TRIM/MOULDING, INCLUDING BASE, WAINSCOT, CHAIR RAIL, CROWN, ETC.
 - T. REMOVE ALL INTERIOR PARTITIONS WITH THE EXCEPTION OF THE FOLLOWING (U.N.O.):
 - STAIR SHAFTS
 - AS SHOWN IN PLANS

SALVAGE

- A. DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
- B. EXISTING WOOD FLOORING.
- C. EXISTING WOOD TRIM.

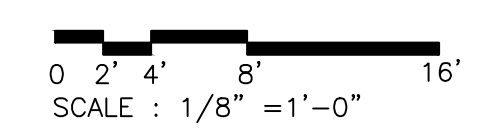
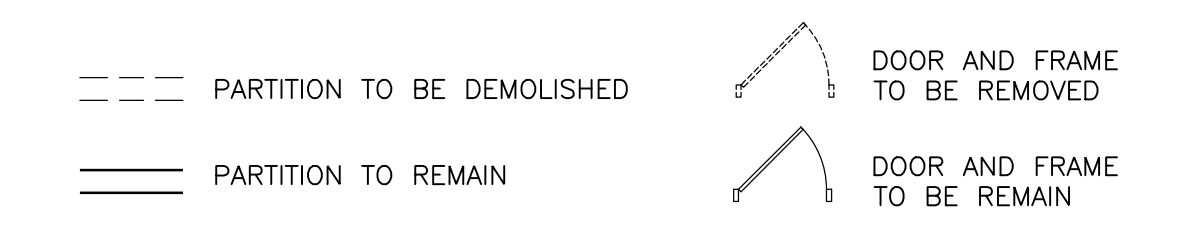
ITEMS TO REMAIN

- A. ALL ROOF DRAIN CONDUCTORS.
- B. STAIR SHAFT ENCLOSURE, STAIR SYSTEM.
- C. FIRE ESCAPE.
- D. EXISTING WINDOWS, FRAMES TRIM AND SILLS.
- E. STAIRS A, C, E AND G.
- F. EXISTING ARCH AS NOTED.

DEMOLITION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 REMOVE EXISTING BRICK INFILL.
 - 2 REMOVE ALL PLUMBING FIXTURES AND BATHROOM PARTITIONS.
 - 3 REMOVE EXISTING STAIRS.
 - 4 REMOVE PORTION OF EXISTING WALL.
 - 5 REMOVE EXISTING DUMBWAITER, DUMBWAITER SHAFT, AND ALL ASSOCIATED HARDWARE AND ACCESSORIES.
 - 6 REMOVE AND SALVAGE DOOR, FRAME AND TRANSOM.
 - 7 REMOVE EXISTING ALUMINUM ENTRY STOREFRONT ASSEMBLY.
 - 8 REMOVE PORTION OF FLOOR FOR SPIRAL STAIR- REFERENCE STRUCTURAL.
 - 9 REMOVE SUSPENDED DROP CEILING AND ALL ASSOCIATED HARDWARE AND FIXTURES IN ITS ENTIRETY.

DEMOLITION LEGEND



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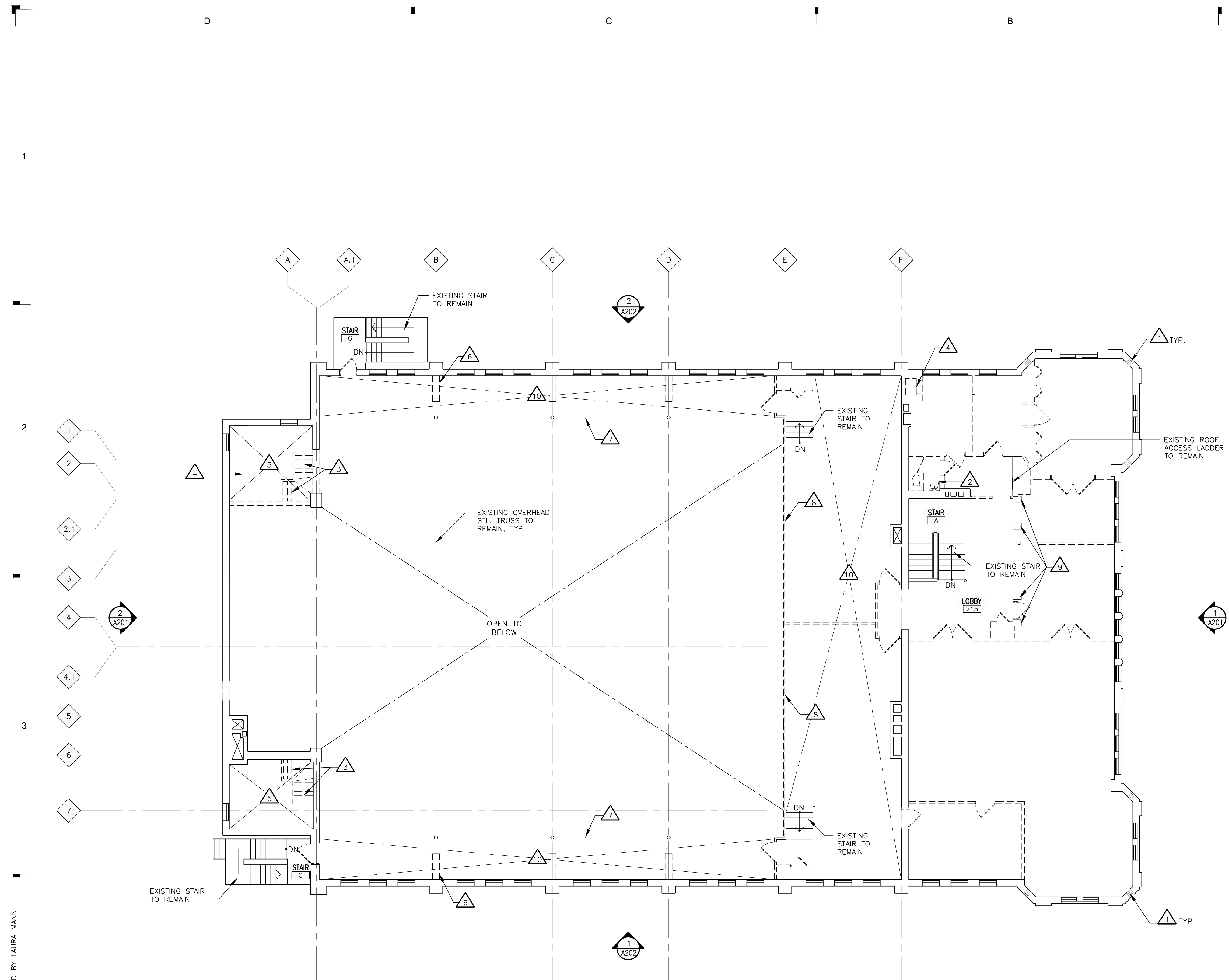
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Project Number 2013074

Sheet Title
FIRST FLOOR DEMOLITION PLAN

Sheet Number

AD102



SECOND FLOOR DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- A. CONTRACTOR TO CONDUCT WALK-THROUGH OF ENTIRE BUILDING TO GAIN UNDERSTANDING OF COMPLETE SCOPE OF DEMOLITION.
 - B. PREMISES WILL BE ACCEPTED IN AN "AS-IS" CONDITION AND "WHERE IS."
 - C. CONTRACTOR TO PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS NECESSARY TO PROVIDE FOR ADEQUATE FIRE PROTECTION AND FIRE FIGHTING.
 - D. CONTRACTOR TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
 - E. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
 - F. SAW CUT THROUGH EXISTING MATERIALS TO PROVIDE A SMOOTH, STRAIGHT EDGE (CLEAN EDGE) FROM WHICH TO REMOVE EXISTING MATERIALS.
 - G. LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS.
 - H. CONTRACTOR TO LEGALLY DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
 - I. REMOVE ALL RADIATORS AND ASSOCIATED PIPING. REMOVE ALL PIPING, INCLUDING STEAM LINES, SANITARY LINES AND WATER LINES INCLUDING FIRE PROTECTION PIPING AND ASSOCIATED EQUIPMENT.
 - J. REMOVE ALL EXISTING APPLIED FLOORING DOWN TO SUBSTRATE.
 - K. REMOVE ALL MISCELLANEOUS DEBRIS, STORED ITEMS, FURNITURE, FIXTURES AND EQUIPMENT.
 - L. REMOVE ALL DOORS, FRAMES, AND ASSOCIATED HARDWARE, INCLUDING HINGES, SEALS, THRESHOLDS AND STOPS, AS INDICATED ON PLAN. SALVAGE DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
 - M. REMOVE ALL SUSPENDED CEILING INSTALLATIONS TO BUILDING STRUCTURE - U.N.O.
 - N. PLASTER COLUMN ENCLOSURES AND FIREPROOFING TO REMAIN IN PLACE.
 - O. REMOVE ALL WINDOW TREATMENTS INCLUDING HARDWARE, BRACKETS, ETC.
 - P. REMOVE ALL DIRECTIONAL AND INFORMATIONAL SIGNAGE.
 - Q. REMOVE ALL CORNER GUARDS.
 - R. REMOVE ALL APPLIED WALL TREATMENTS/FINISHES, INCLUDING TILE, TO SUBSTRATE, U.N.O.
 - S. REMOVE ALL APPLIED TRIM/MOULDING, INCLUDING BASE, WAINSCOT, CHAIR RAIL, CROWN, ETC.
 - T. REMOVE ALL INTERIOR PARTITIONS WITH THE EXCEPTION OF THE FOLLOWING (U.N.O.):
 - STAIR SHAFTS
 - AS SHOWN IN PLANS

SALVAGE

- A. DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
- B. EXISTING WOOD FLOORING.
- C. EXISTING WOOD TRIM.

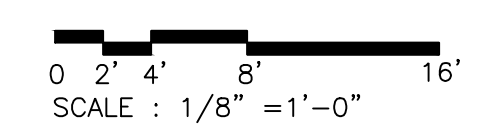
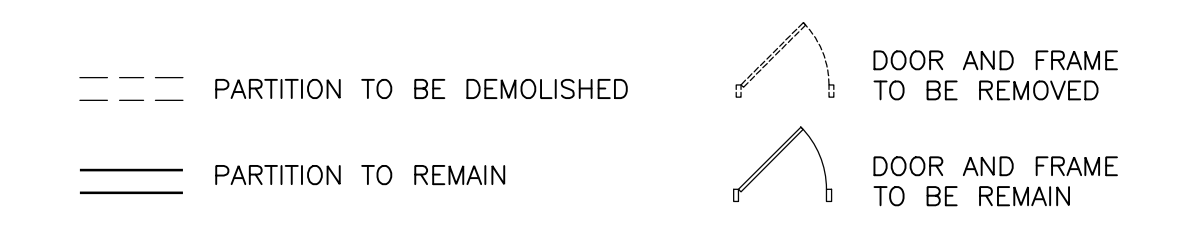
ITEMS TO REMAIN

- A. ALL ROOF DRAIN CONDUCTORS.
- B. STAIR SHAFT ENCLOSURE, STAIR SYSTEM.
- C. FIRE ESCAPE.
- D. EXISTING WINDOWS, FRAMES TRIM AND SILLS.
- E. STAIRS A, C, E AND G.
- F. EXISTING ARCH AS NOTED.

DEMOLITION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 REMOVE EXISTING BRICK INFILL.
 - 2 REMOVE ALL PLUMBING FIXTURES AND BATHROOM PARTITIONS.
 - 3 REMOVE EXISTING STAIRS AND ALL ASSOCIATED HARDWARE AND STRUCTURE.
 - 4 REMOVE EXISTING DUMBWAITER, DUMBWAITER SHAFT, AND ALL ASSOCIATED HARDWARE AND ACCESSORIES.
 - 5 REMOVE EXISTING FLOOR STRUCTURE.
 - 6 REMOVE GYP. BD. ENCLOSURE AT TRUSSES, TYP.
 - 7 REMOVE EXISTING PARTIAL HEIGHT WALL AND ASSOCIATED WD PANELING AT MEZZANINE.
 - 8 REMOVE FULL HEIGHT WALL AT MEZZANINE AND ASSOCIATED HARDWARE - SALVAGE EXIST BEAD BOARD.
 - 9 REMOVE WOOD COLUMNS AND HEADER ENCLOSURE.
 - 10 REMOVE SUSPENDED DROP CEILING AND ALL ASSOCIATED HARDWARE AND FIXTURES IN ITS ENTIRETY.

DEMOLITION LEGEND



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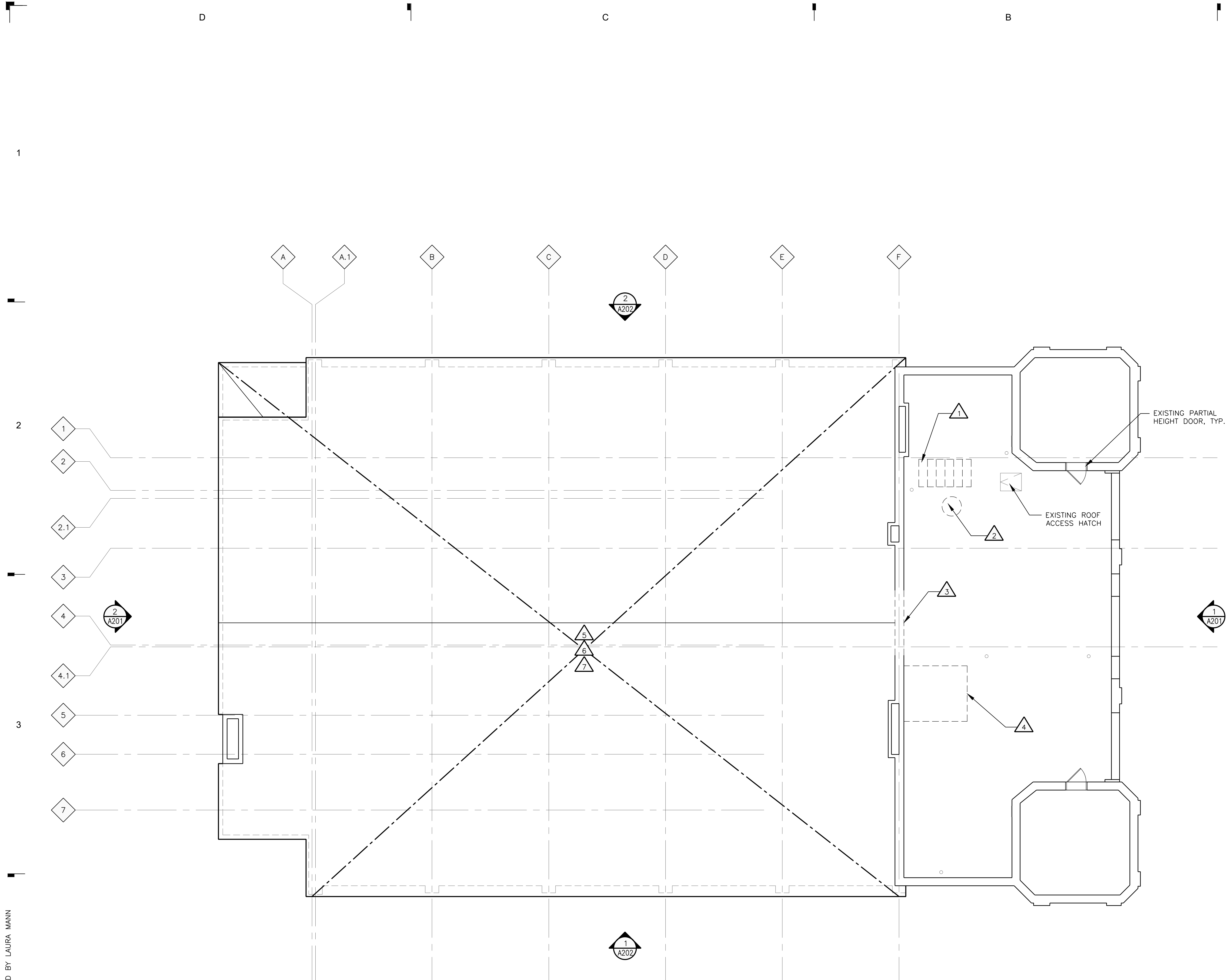
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Sheet Title
SECOND FLOOR DEMOLITION PLAN

Sheet Number

AD103

PLOTTED ON 4/4/2014 11:07 AM | PLOTTED BY LAURA MANN



ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- A. CONTRACTOR TO CONDUCT WALK-THROUGH OF ENTIRE BUILDING TO GAIN UNDERSTANDING OF COMPLETE SCOPE OF DEMOLITION.
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 - C. CONTRACTOR TO PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS NECESSARY TO PROVIDE FOR ADEQUATE FIRE PROTECTION AND FIRE FIGHTING.
 - D. CONTRACTOR TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
 - E. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
 - F. SAW CUT THROUGH EXISTING MATERIALS TO PROVIDE A SMOOTH, STRAIGHT EDGE (CLEAN EDGE) FROM WHICH TO REMOVE EXISTING MATERIALS.
 - G. LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS.
 - H. CONTRACTOR TO LEGALLY DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
 - I. REMOVE ALL RADIATORS AND ASSOCIATED PIPING. REMOVE ALL PIPING, INCLUDING STEAM LINES, SANITARY LINES AND WATER LINES INCLUDING FIRE PROTECTION PIPING AND ASSOCIATED EQUIPMENT.
 - J. REMOVE ALL EXISTING APPLIED FLOORING DOWN TO SUBSTRATE.
 - K. REMOVE ALL MISCELLANEOUS DEBRIS, STORED ITEMS, FURNITURE, FIXTURES AND EQUIPMENT.
 - L. REMOVE ALL DOORS, FRAMES, AND ASSOCIATED HARDWARE, INCLUDING HINGES, SEALS, THRESHOLDS AND STOPS, AS INDICATED ON PLAN. SALVAGE DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
 - M. REMOVE ALL SUSPENDED CEILING INSTALLATIONS TO BUILDING STRUCTURE - U.N.O.
 - N. PLASTER COLUMN ENCLOSURES AND FIREPROOFING TO REMAIN IN PLACE.
 - O. REMOVE ALL WINDOW TREATMENTS INCLUDING HARDWARE, BRACKETS, ETC.
 - P. REMOVE ALL DIRECTIONAL AND INFORMATIONAL SIGNAGE.
 - Q. REMOVE ALL CORNER GUARDS.
 - R. REMOVE ALL APPLIED WALL TREATMENTS/FINISHES, INCLUDING TILE, TO SUBSTRATE, U.N.O.
 - S. REMOVE ALL APPLIED TRIM/MOULDING, INCLUDING BASE, WAINSCOT, CHAIR RAIL, CROWN, ETC.
 - T. REMOVE ALL INTERIOR PARTITIONS WITH THE EXCEPTION OF THE FOLLOWING (U.N.O.):
 - STAIR SHAFTS
 - AS SHOWN IN PLANS

SALVAGE

- A. DOORS, FRAMES AND TRANSOMS WHERE INDICATED.
- B. EXISTING WOOD FLOORING.
- C. EXISTING WOOD TRIM.

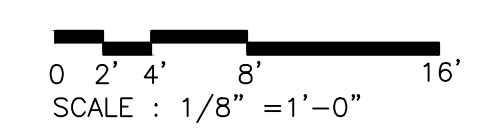
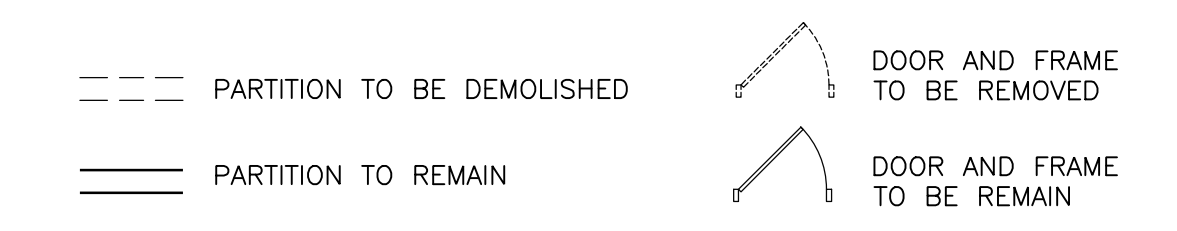
ITEMS TO REMAIN

- A. ALL ROOF DRAIN CONDUCTORS.
- B. STAIR SHAFT ENCLOSURE, STAIR SYSTEM.
- C. FIRE ESCAPE.
- D. EXISTING WINDOWS, FRAMES TRIM AND SILLS.
- E. STAIRS A, C, E AND G.
- F. EXISTING ARCH AS NOTED.

DEMOLITION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 REMOVE EXISTING SKYLIGHT.
 - 2 REMOVE EXISTING EXHAUST FAN.
 - 3 REMOVE BRICK INFILL AT WINDOW OPENING.
 - 4 REMOVE PORTION OF EXISTING ROOF FOR NEW ELEVATOR OVERRUN. REFER TO STRUCTURAL DRAWINGS.
 - 5 REMOVE GUTTERS, FASCIA AND DOWNSPOUTS.
 - 6 ADD ALTERNATE NO. #2 REMOVE ROOF SHINGLES.
 - 7 ADD ALTERNATE NO. #4 REMOVE CHIMNEY AND ASSOCIATED COPING.

DEMOLITION LEGEND



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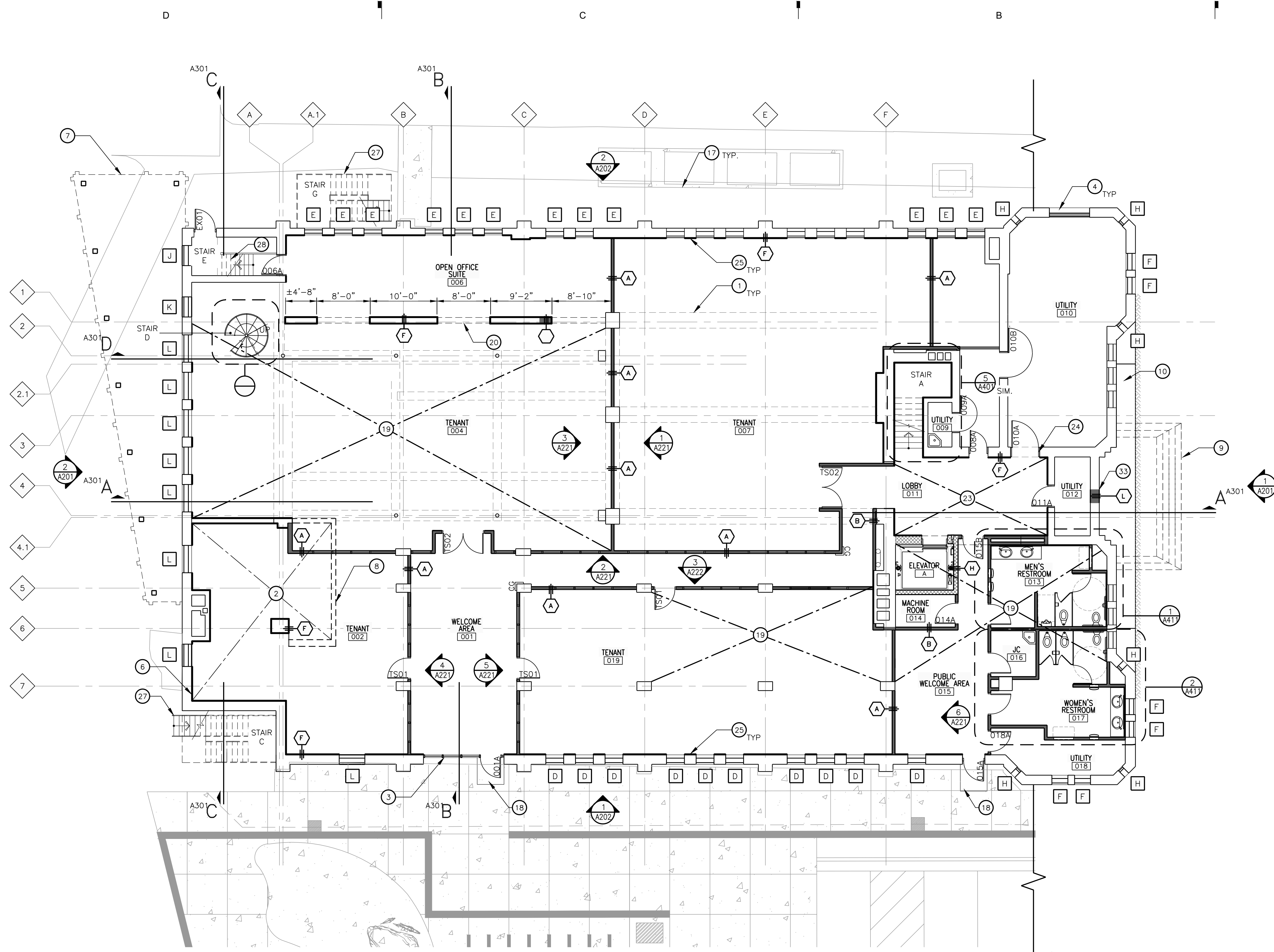
Project Number 2013074

Sheet Title
ROOF DEMOLITION PLAN

Sheet Number

AD104

PLOTTED ON 4/4/2014 11:07 AM | PLOTTED BY LAURA MANN



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- A. WHERE SLAB ON GRADE REMOVAL IS REQUIRED FOR UTILITY PLACEMENT REFER TO TYPICAL CONCRETE SLAB INFILL DETAIL ON SHEET A_____.
 - B. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE TO RECEIVE FINISH MATERIAL. COORDINATE WITH ROOM FINISH AND COLOR SCHEDULE.
 - E. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
 - F. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM).
 - G. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASUREMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASUREMENT.
 - H. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
 - I. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
 - J. WHERE NEW FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES - PATCH AND REPAIR WALLS AND FLOOR - PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - K. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
 - L. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
 - M. CONTRACTOR SHALL PROVIDE AND INSTALL CORNER GUARDS (CG) AS IDENTIFIED ON PLANS. CG SHALL BE FULL HEIGHT FROM TOP OF BASE TO CEILING. TYP. EXCEPT AT WWC - INSTALL FROM TOP OF WWC TO CLG.
 - N. SEMI-RECESSED FIRE EXTINGUISHER (FE) - REFER TO SHEET A501 FOR TYPICAL DETAILS. FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
 - O. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN RATING FIRE WALL.
 - P. TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
 - Q. WHERE EXISTING PARTITIONS HAVE BEEN REMOVED - PATCH / REPAIR EXISTING PLASTER TO REMAIN TO GIVE A SMOOTH SEAMLESS APPEARANCE.

CONSTRUCTION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 LINE OF OVERHEAD BEAM.
 - 2 INFILL SUB-BASEMENT WITH ENGINEERED FILL AND CONCRETE SLAB - SEE STRUCTURAL FOR DETAILS.
 - 3 ALUMINUM STOREFRONT - SEE ELEVATION.
 - 4 NEW ALUMINUM LOUVER - SEE MECHANICAL FOR DETAILS.
 - 5 NEW OPENING THROUGH WALL.
 - 6 MOP SINK.
 - 7 BALCONY ABOVE.
 - 8 LINE OF SUB-BASEMENT FOUNDATION WALL BELOW.
 - 9 LINE OF CONCRETE STAIR ABOVE.
 - 10 FOUNDATION.
 - 11 NEW OPENING THROUGH WALL - SEE STRUCTURAL.
 - 12 FLOOR INFILL - SEE STRUCTURAL.
 - 13 WHITE BOARD ON WOOD STUDS.
 - 14 HOMOSOTE ON WOOD STUDS.
 - 15 CABINERY FOR STORAGE.
 - 16 OFFICE BELOW.
 - 17 CHILLERS - SEE MECHANICAL FOR DETAILS.
 - 18 FROST BLOCK - SEE STRUCTURAL FOR DETAILS.
 - 19 INFILL FLOOR W/ NEW CONCRETE SKIM COAT.
 - 20 NEW OPENING - PROVIDE HEADER AS INDICATED - SEE STRUCTURAL FOR DETAILS.
 - 21 LINE OF STAIR ABOVE.
 - 22 NOT USED.
 - 23 EXISTING REFINISHED WOOD FLOOR.
 - 24 CENTER NEW DOOR UNDER EXISTING ARCH.
 - 25 GYP. BD. ON WOOD FRAMING - SEE A501.
 - 26 POLISH NEW CONCRETE SKIM COAT INFILL.
 - 27 EXIST EXTERIOR STAIR TO REMAIN. SCRAPE LOOSE PAINT AND RUST, CLEAN, AND REPAINT. PNT-.
 - 28 REPAIR, SAND, REFINISH AND PAINT EXISTING STAIR PNT-.
 - 29 NEW WOOD FRAME AND GLASS ASSEMBLY.
 - 30 ELECTRICAL PANEL - SEE ELECTRICAL.
 - 31 LINE OF BEAM/SOFFIT ABOVE - SEE REFLECTED CEILING PLAN.
 - 32 OPEN WOOD FRAMING.
 - 33 CMU INFILL IN EXISTING OPENING. SKIM COAT FINISH TO ALIGN W/ EXISTING ADJACENT WALLS - SEE PARTITION TYPES.
 - 34 ADD ALTERNATE NO. #5 INSTALL PASSENGER LIFT.

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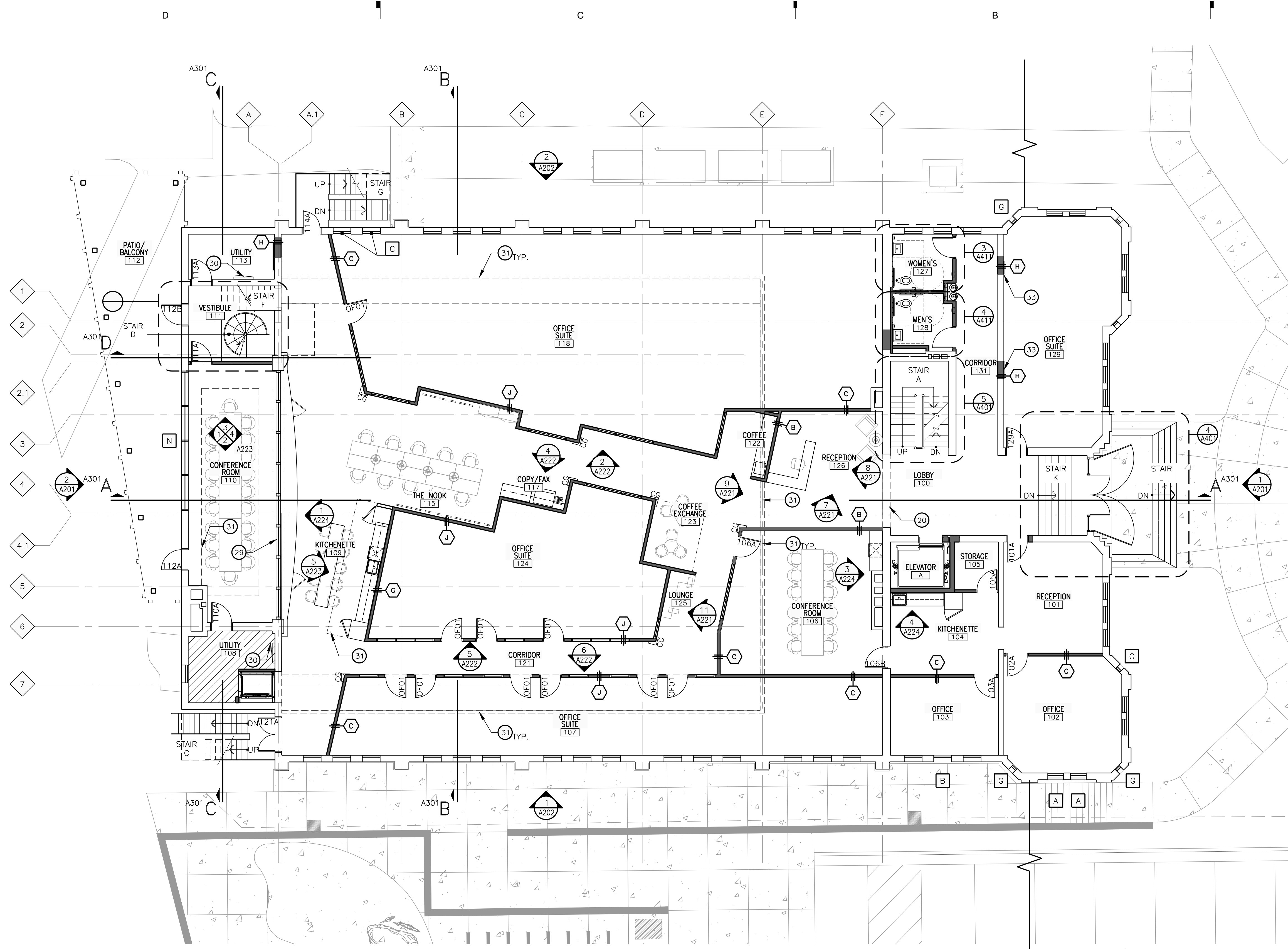
Project Number 2013074

Sheet Title
GROUND FLOOR PLAN

Sheet Number

A101

PLOTTED ON 4/4/2014 11:07 AM | PLOTTED BY LAURA MANN



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- A. WHERE SLAB ON GRADE REMOVAL IS REQUIRED FOR UTILITY PLACEMENT REFER TO TYPICAL CONCRETE SLAB INFILL DETAIL ON SHEET A_____.
 - B. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE TO RECEIVE FINISH MATERIAL. COORDINATE WITH ROOM FINISH AND COLOR SCHEDULE.
 - E. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
 - F. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM).
 - G. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASUREMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASUREMENT.
 - H. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
 - I. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
 - J. WHERE NEW FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES - PATCH AND REPAIR WALLS AND FLOOR - PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - K. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
 - L. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING, UNLESS NOTED OTHERWISE.
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 - O. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN RATING FIRE WALL.
 - P. TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
 - Q. WHERE EXISTING PARTITIONS HAVE BEEN REMOVED - PATCH / REPAIR EXISTING PLASTER TO REMAIN TO GIVE A SMOOTH SEAMLESS APPEARANCE.

CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 LINE OF OVERHEAD BEAM.
- 2 INFILL SUB-BASEMENT WITH ENGINEERED FILL AND CONCRETE SLAB - SEE STRUCTURAL FOR DETAILS.
- 3 ALUMINUM STOREFRONT - SEE ELEVATION.
- 4 NEW ALUMINUM LOUVER - SEE MECHANICAL FOR DETAILS.
- 5 NEW OPENING THROUGH WALL.
- 6 MOP SINK.
- 7 BALCONY ABOVE.
- 8 LINE OF SUB-BASEMENT FOUNDATION WALL BELOW.
- 9 LINE OF CONCRETE STAIR ABOVE.
- 10 FOUNDATION.
- 11 NEW OPENING THROUGH WALL - SEE STRUCTURAL.
- 12 FLOOR INFILL - SEE STRUCTURAL.
- 13 WHITE BOARD ON WOOD STUDS.
- 14 HOMOSOTE ON WOOD STUDS.
- 15 CABINERY FOR STORAGE.
- 16 OFFICE BELOW.
- 17 CHILLERS - SEE MECHANICAL FOR DETAILS.
- 18 FROST BLOCK - SEE STRUCTURAL FOR DETAILS.
- 19 INFILL FLOOR W/ NEW CONCRETE SKIM COAT.
- 20 NEW OPENING - PROVIDE HEADER AS INDICATED - SEE STRUCTURAL FOR DETAILS.
- 21 LINE OF STAIR ABOVE.
- 22 NOT USED.
- 23 EXISTING REFINISHED WOOD FLOOR.
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- 25 GYP. BD. ON WOOD FRAMING - SEE A501.
- 26 POLISH NEW CONCRETE SKIM COAT INFILL.
- 27 EXIST EXTERIOR STAIR TO REMAIN. SCRAPE LOOSE PAINT AND RUST, CLEAN, AND REPAINT. PNT-.
- 28 REPAIR, SAND, REFINISH AND PAINT EXISTING STAIR PNT-.
- 29 NEW WOOD FRAME AND GLASS ASSEMBLY.
- 30 ELECTRICAL PANEL - SEE ELECTRICAL.
- 31 LINE OF BEAM/SOFFIT ABOVE - SEE REFLECTED CEILING PLAN.
- 32 OPEN WOOD FRAMING.
- 33 CMU INFILL IN EXISTING OPENING. SKIM COAT FINISH TO ALIGN W/ EXISTING ADJACENT WALLS - SEE PARTITION TYPES.
- 34 ADD ALTERNATE NO. #5 INSTALL PASSENGER LIFT.

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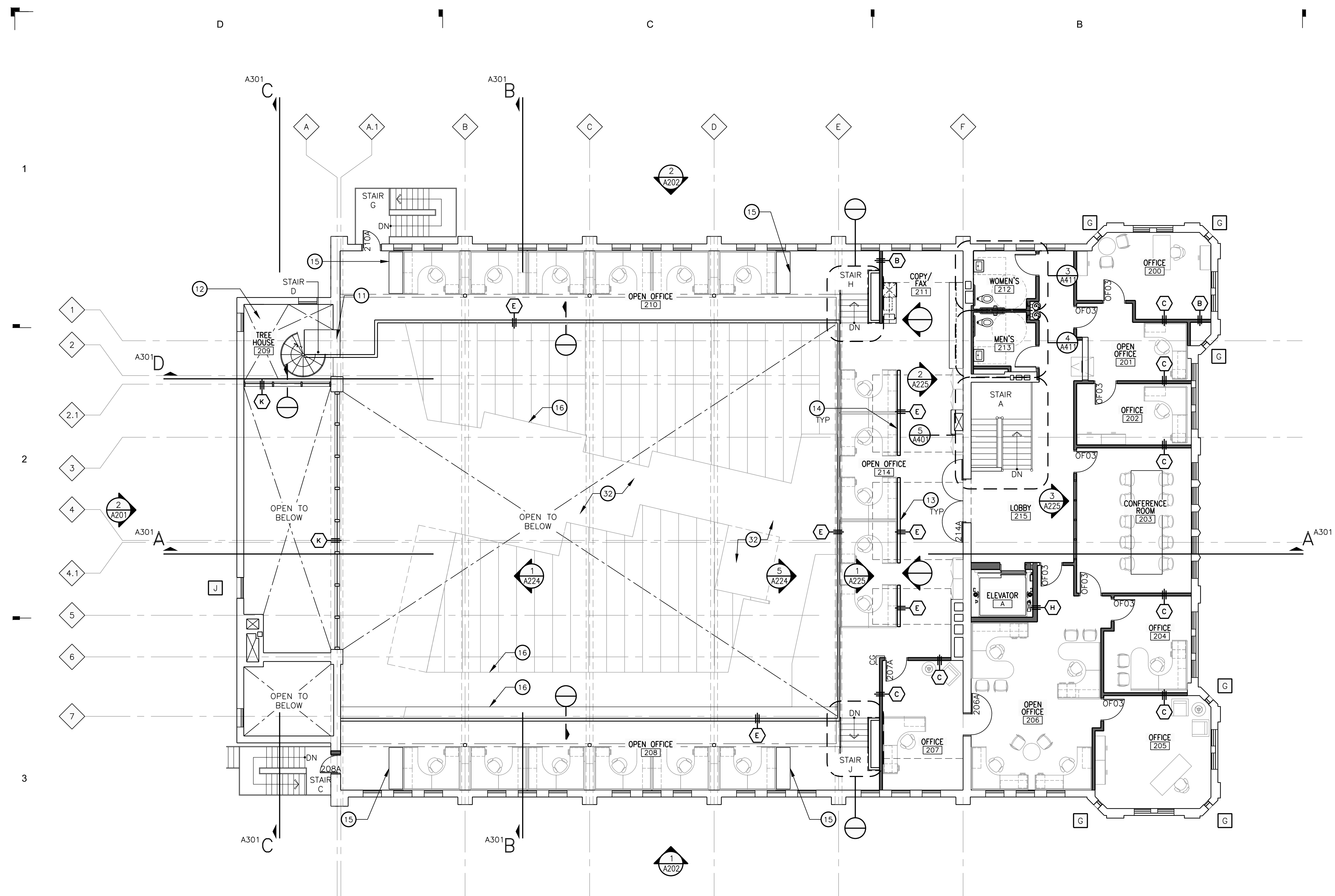
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Project Number 2013074

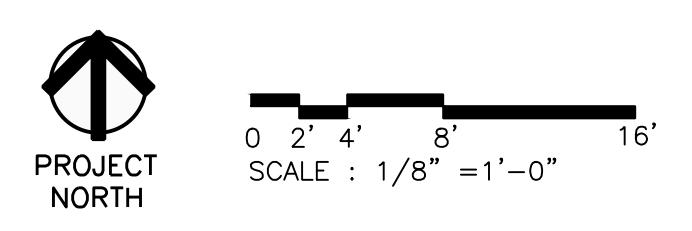
Sheet Title
FIRST FLOOR PLAN

Sheet Number

A102



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- A. WHERE SLAB ON GRADE REMOVAL IS REQUIRED FOR UTILITY PLACEMENT REFER TO TYPICAL CONCRETE SLAB INFILL DETAIL ON SHEET A.....
 - B. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE TO RECEIVE FINISH MATERIAL. COORDINATE WITH ROOM FINISH AND COLOR SCHEDULE.
 - E. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTION TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
 - F. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM).
 - G. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASUREMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASUREMENT.
 - H. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
 - I. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
 - J. WHERE NEW FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES - PATCH AND REPAIR WALLS AND FLOOR - PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - K. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
 - L. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
 - M. CONTRACTOR SHALL PROVIDE AND INSTALL CORNER GUARDS (CG) AS IDENTIFIED ON PLANS. CG SHALL BE FULL HEIGHT FROM TOP OF BASE TO CEILING. TYP. EXCEPT AT WWC - INSTALL FROM TOP OF WWC TO CLG.
 - N. SEMI-RECESSED FIRE EXTINGUISHER (FE) - REFER TO SHEET A501 FOR TYPICAL DETAILS. FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
 - O. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE 'X' GYPSUM BOARD TO MAINTAIN RATING FIRE WALL.
 - P. TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
 - Q. WHERE EXISTING PARTITIONS HAVE BEEN REMOVED - PATCH / REPAIR EXISTING PLASTER TO REMAIN TO GIVE A SMOOTH SEAMLESS APPEARANCE.

CONSTRUCTION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 LINE OF OVERHEAD BEAM.
 - 2 INFILL SUB-BASEMENT WITH ENGINEERED FILL AND CONCRETE SLAB - SEE STRUCTURAL FOR DETAILS.
 - 3 ALUMINUM STOREFRONT - SEE ELEVATION.
 - 4 NEW ALUMINUM LOUVER - SEE MECHANICAL FOR DETAILS.
 - 5 NEW OPENING THROUGH WALL.
 - 6 MOP SINK.
 - 7 BALCONY ABOVE.
 - 8 LINE OF SUB-BASEMENT FOUNDATION WALL BELOW.
 - 9 LINE OF CONCRETE STAIR ABOVE.
 - 10 FOUNDATION.
 - 11 NEW OPENING THROUGH WALL - SEE STRUCTURAL.
 - 12 FLOOR INFILL - SEE STRUCTURAL.
 - 13 WHITE BOARD ON WOOD STUDS.
 - 14 HOMOSOTE ON WOOD STUDS.
 - 15 CABINETS FOR STORAGE.
 - 16 OFFICE BELOW.
 - 17 CHILLERS - SEE MECHANICAL FOR DETAILS.
 - 18 FROST BLOCK - SEE STRUCTURAL FOR DETAILS.
 - 19 INFILL FLOOR W/ NEW CONCRETE SKIM COAT.
 - 20 NEW OPENING - PROVIDE HEADER AS INDICATED - SEE STRUCTURAL FOR DETAILS.
 - 21 LINE OF STAIR ABOVE.
 - 22 NOT USED.
 - 23 EXISTING REFINISHED WOOD FLOOR.
 - 24 CENTER NEW DOOR UNDER EXISTING ARCH.
 - 25 GYP. BD. ON WOOD FRAMING - SEE A501.
 - 26 POLISH NEW CONCRETE SKIM COAT INFILL.
 - 27 EXIST EXTERIOR STAIR TO REMAIN. SCRAPE LOOSE PAINT AND RUST, CLEAN, AND REPAINT. PNT--.
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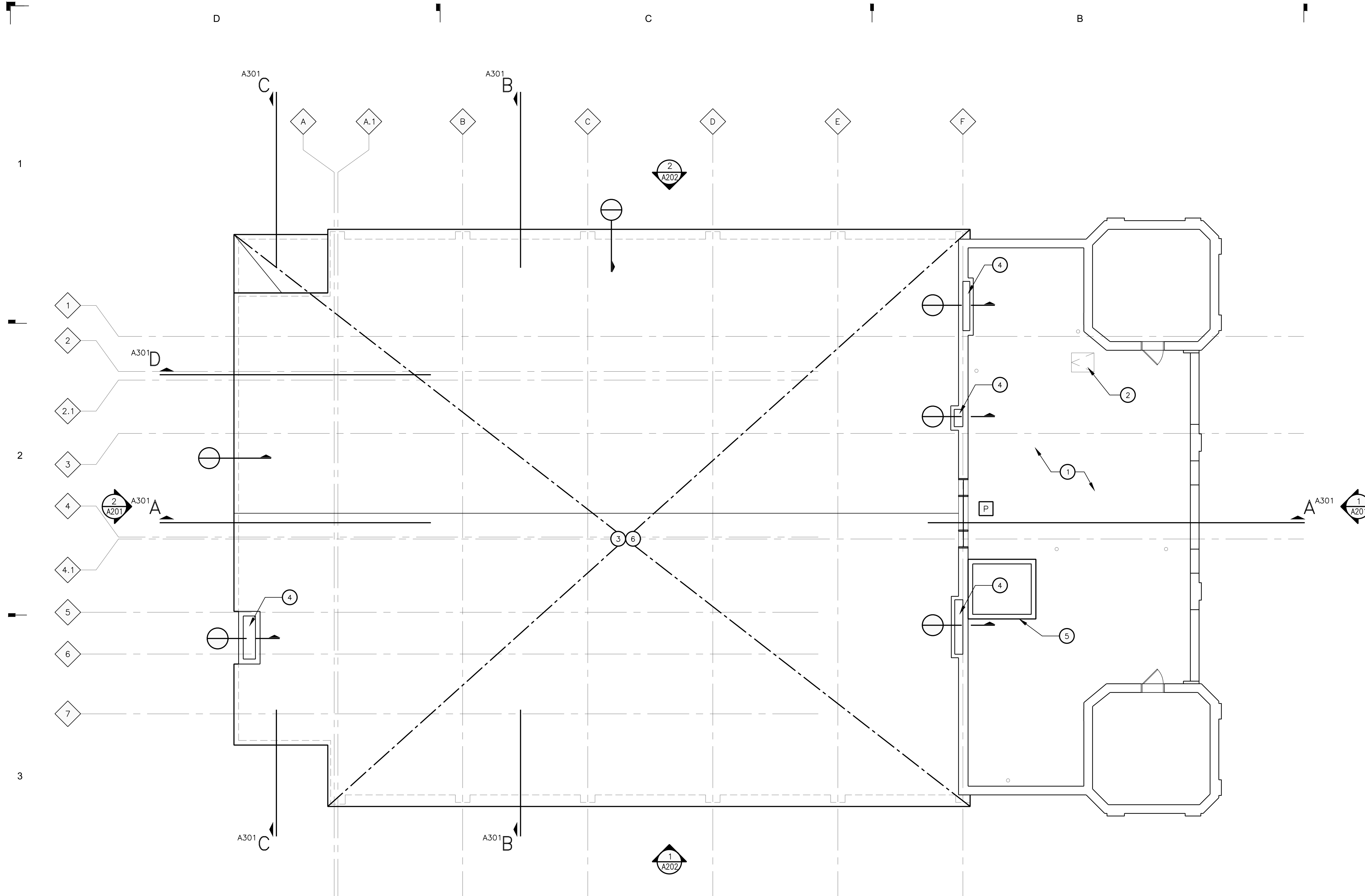
Project Number 2013074

Sheet Title
SECOND FLOOR PLAN

Sheet Number

A103

PLOTTED ON 4/4/2014 11:22 AM | PLOTTED BY LAURA MANN



ROOF PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- A. WHERE SLAB ON GRADE REMOVAL IS REQUIRED FOR UTILITY PLACEMENT REFER TO TYPICAL CONCRETE SLAB INFILL DETAIL ON SHEET A_____.
 - B. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE TO RECEIVE FINISH MATERIAL. COORDINATE WITH ROOM FINISH AND COLOR SCHEDULE.
 - E. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
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 - P. TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.

CONSTRUCTION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 REPAIR ROOF - PROVIDE NEW FLASHING AT WALL AND PARAPET INTERSECTIONS AND AT ALL ROOF PENETRATIONS.
 - 2 NEW ROOF HATCH.
 - 3 ALTERNATE NO. 2 TO REMOVE AND REPLACE EXISTING SHINGLE ROOF.
 - 4 ADD METAL CAP AT CHIMNEY.
 - 5 ELEVATOR OVERRUN - SEE STRUCTURAL.
 - 6 REPLACE GUTTERS, FASCIA AND DOWNSPOUTS.

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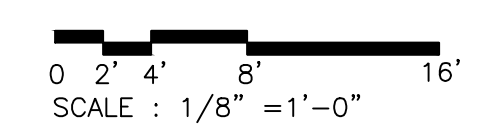
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Project Number 2013074

Sheet Title
ROOF PLAN

Sheet Number

A104



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Date

Project Number 2013074

Sheet Title
EXTERIOR ELEVATIONS

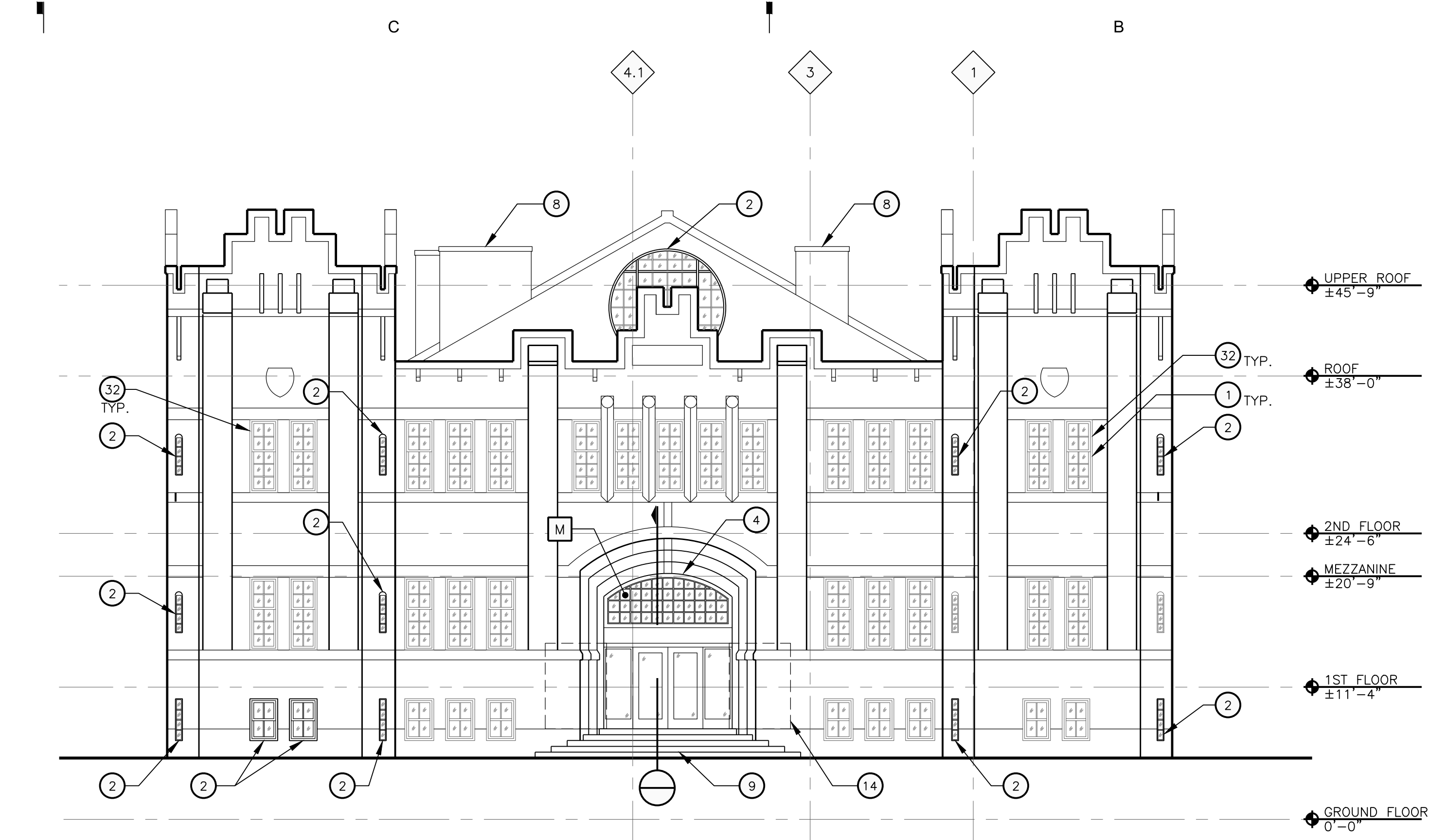
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A201

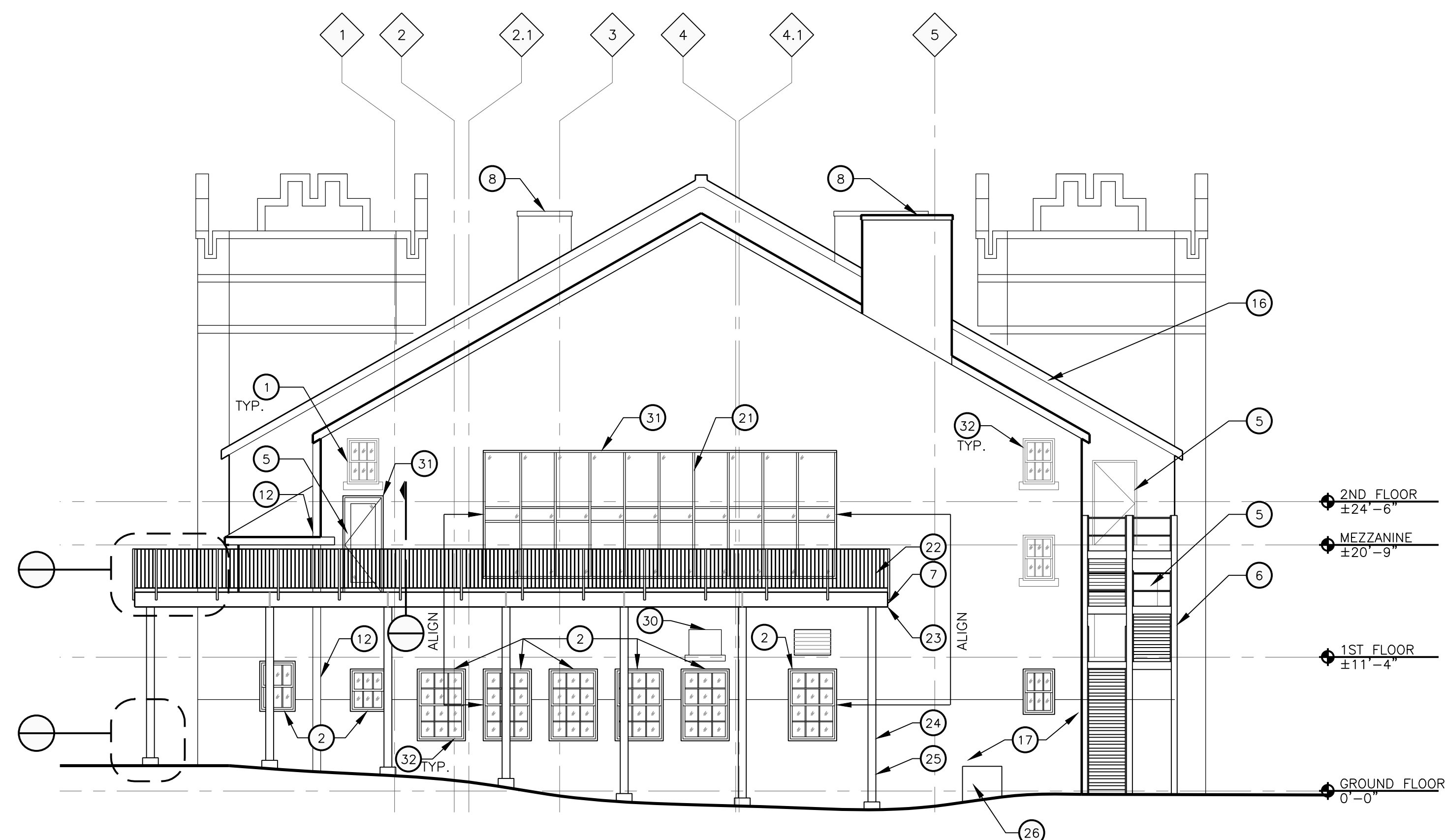
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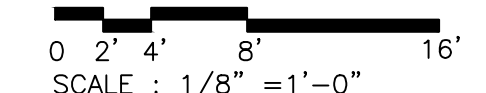
- ① EXIST WINDOW TO REMAIN.
- ② REMOVE MASONRY INFILL AT OLD WINDOW OPENING. PROVIDE NEW ALUMINUM WINDOW.
- ③ NEW ALUMINUM WINDOW OPENING. ALIGN WITH EXIST WINDOW ABOVE.
- ④ NEW ALUMINUM WINDOW.
- ⑤ NEW DOOR.
- ⑥ EXIST EXTERIOR STAIR TO REMAIN. SCRAPE LOOSE PAINT AND RUST, CLEAN, AND REPAINT. PNT--.
- ⑦ NEW BALCONY.
- ⑧ EXIST CHIMNEY WITH NEW MTL CAP - SEE DETAIL..
- ⑨ NEW CONCRETE PLATFORM AND STEPS.
- ⑩ ALUMINUM STOREFRONT.
- ⑪ BRICK INFILL EXIST OPENING. SET FACE OF NEW BRICK 4" BACK FROM EXIST OUTSIDE FACE OF WALL. MATERIALS TO MATCH EXIST. BRICK AND MORTAR.
- ⑫ NEW GUTTER, DOWNSPOUT, AND WD FASCIA (PNT--). SEE DETAIL -. DOWNSPOUT TO DRAIN DIRECTLY INTO STORM DRAIN. SEE PLUMBING AND CIVIL DRAWINGS FOR DETAILS.
- ⑬ LINE OF BERM BEYOND.
- ⑭ DECORATIVE HISTORIC REPLICA WOOD DOOR.
- ⑮ EXIST ASPHALT ROOF TO REMAIN. ADD ALTERNATE NO#_: NEW ASPHALT ROOF.
- ⑯ METAL COPING.
- ⑰ PROVIDE CLEAR SEALER AT CONCRETE BASE.
- ⑱ REMOVE EXISTING BRICK INFILL. PROVIDE NEW ALUMINUM LOUVER - SEE MECHANICAL.
- ⑲ PROVIDE NEW LIMESTONE SILL TO MATCH EXIST.
- ⑳ STEEL CHANNEL HEADER.
- ㉑ ALUMINUM STOREFRONT.
- ㉒ TUBE STEEL RAILING.
- ㉓ STEEL CHANNEL.
- ㉔ STEEL COLUMN.
- ㉕ CONCRETE COLUMN BASE.
- ㉖ INFILL EXIST OPENING WITH CMU BLOCK. SKIM COAT CONCRETE OVER CMU BLOCK TO MATCH ADJACENT CONCRETE.
- ㉗ NEW ALUMINUM WINDOW AT EXIST DOOR OPENING. HEIGHT TO MATCH WINDOW TYPE _ AT WEST ELEVATION. ALIGN TOP OF NEW WINDOW WITH TOP OF EXIST DOOR OPENING.
- ㉘ ADD ALTERNATE NO#_: LOWER SILL 8" ABOVE GRADE.
- ㉙ SKIM COAT CONCRETE OVER EXIST BRICK MASONRY TO MATCH ADJACENT CONCRETE.
- ㉚ EXIST BRICK INFILL TO REMAIN.
- ㉛ MASONRY OPENING - PROVIDE LINTEL.
- ㉜ ALL EXIST AND NEW ALUMINUM WINDOWS ARE TO BE MADE FIXED. SEE DETAIL ____.



1 EAST ELEVATION
A201 SCALE: 1/8" = 1'-0"
REFERENCE LOCATIONS:



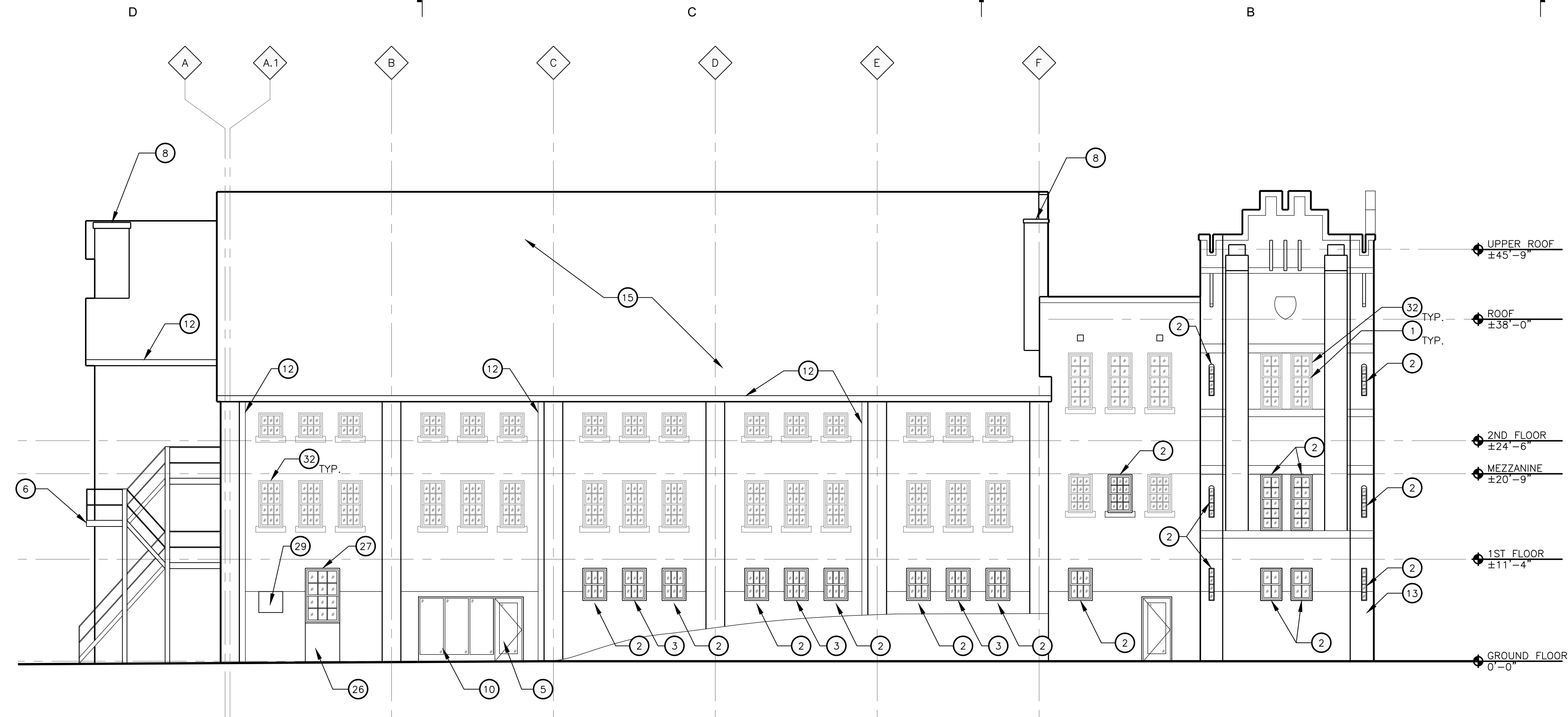
2 WEST ELEVATION
A201 SCALE: 1/8" = 1'-0"
REFERENCE LOCATIONS:



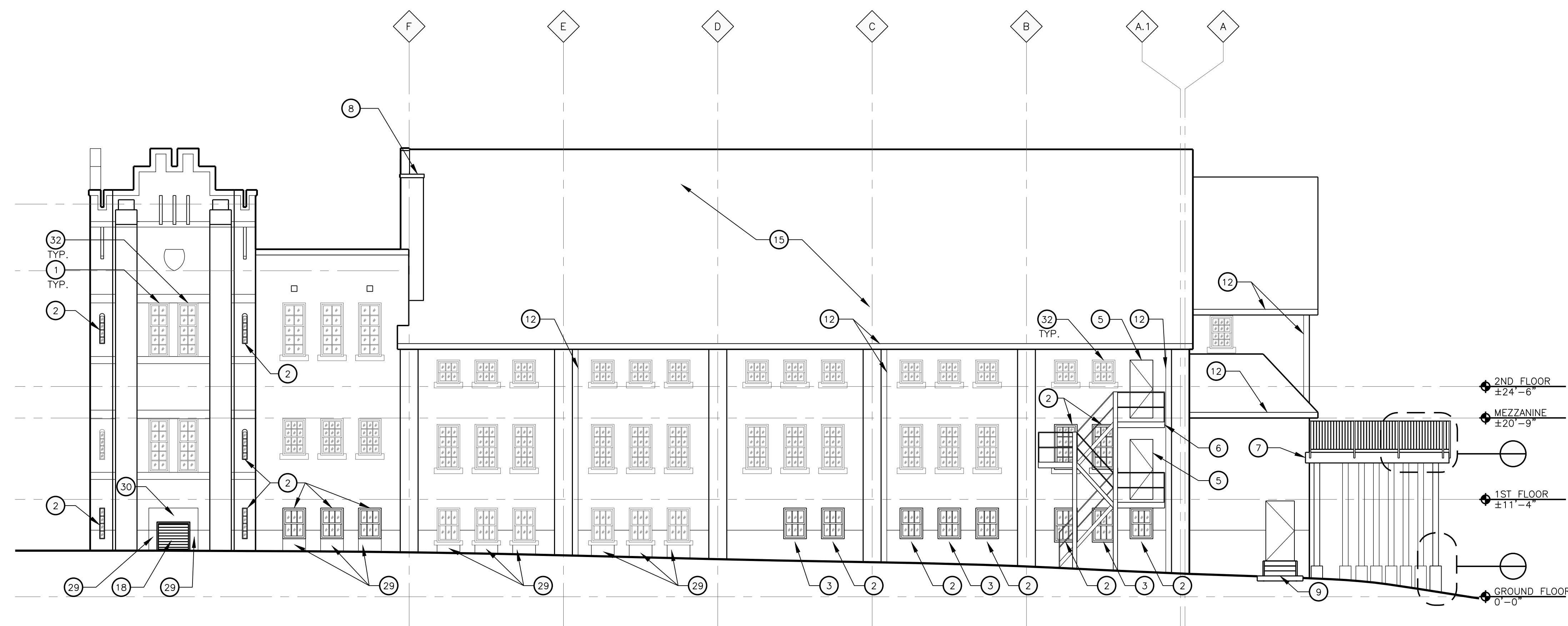
CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- ① EXIST WINDOW TO REMAIN.
- ② REMOVE MASONRY INFILL AT OLD WINDOW OPENING. PROVIDE NEW ALUMINUM WINDOW.
- ③ NEW ALUMINUM WINDOW OPENING. ALIGN WITH EXIST WINDOW ABOVE.
- ④ NEW ALUMINUM WINDOW.
- ⑤ NEW DOOR.
- ⑥ EXIST EXTERIOR STAIR TO REMAIN. SCRAPE LOOSE PAINT AND RUST, CLEAN, AND REPAINT. PNT-.
- ⑦ NEW BALCONY.
- ⑧ EXIST CHIMNEY WITH NEW MTL CAP - SEE DETAIL-.
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- ⑯ METAL COPING.
- ⑰ PROVIDE CLEAR SEALER AT CONCRETE BASE.
- ⑱ REMOVE EXISTING BRICK INFILL. PROVIDE NEW ALUMINUM LOUVER - SEE MECHANICAL.
- ⑲ PROVIDE NEW LIMESTONE SILL TO MATCH EXIST.
- ⑳ STEEL CHANNEL HEADER.
- ㉑ ALUMINUM STOREFRONT.
- ㉒ TUBE STEEL RAILING.
- ㉓ STEEL CHANNEL.
- ㉔ STEEL COLUMN.
- ㉕ CONCRETE COLUMN BASE.
- ㉖ INFILL EXIST OPENING WITH CMU BLOCK. SKIM COAT CONCRETE OVER CMU BLOCK TO MATCH ADJACENT CONCRETE.
- ㉗ NEW ALUMINUM WINDOW AT EXIST DOOR OPENING. HEIGHT TO MATCH WINDOW TYPE _ AT WEST ELEVATION. ALIGN TOP OF NEW WINDOW WITH TOP OF EXIST DOOR OPENING.
- ㉘ ADD ALTERNATE NO#_: LOWER SILL 8" ABOVE GRADE.
- ㉙ SKIM COAT CONCRETE OVER EXIST BRICK MASONRY TO MATCH ADJACENT CONCRETE.
- ㉚ EXIST BRICK INFILL TO REMAIN.
- ㉛ MASONRY OPENING - PROVIDE LINTEL.
- ㉜ ALL EXIST AND NEW ALUMINUM WINDOWS ARE TO BE MADE FIXED. SEE DETAIL ____.



1 SOUTH ELEVATION
 A202 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS:



2 NORTH ELEVATION
 A202 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS:

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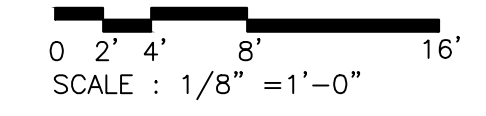
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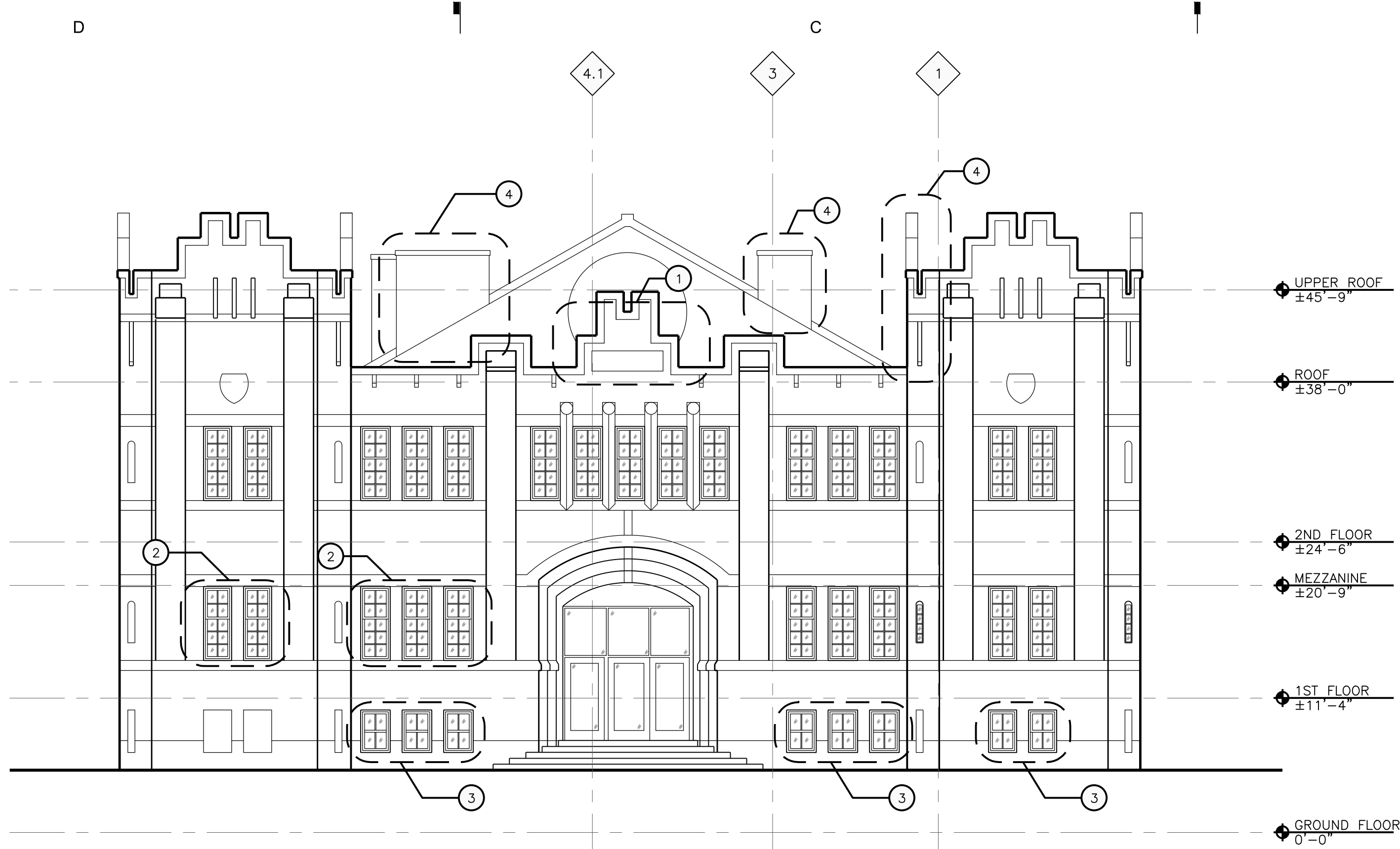
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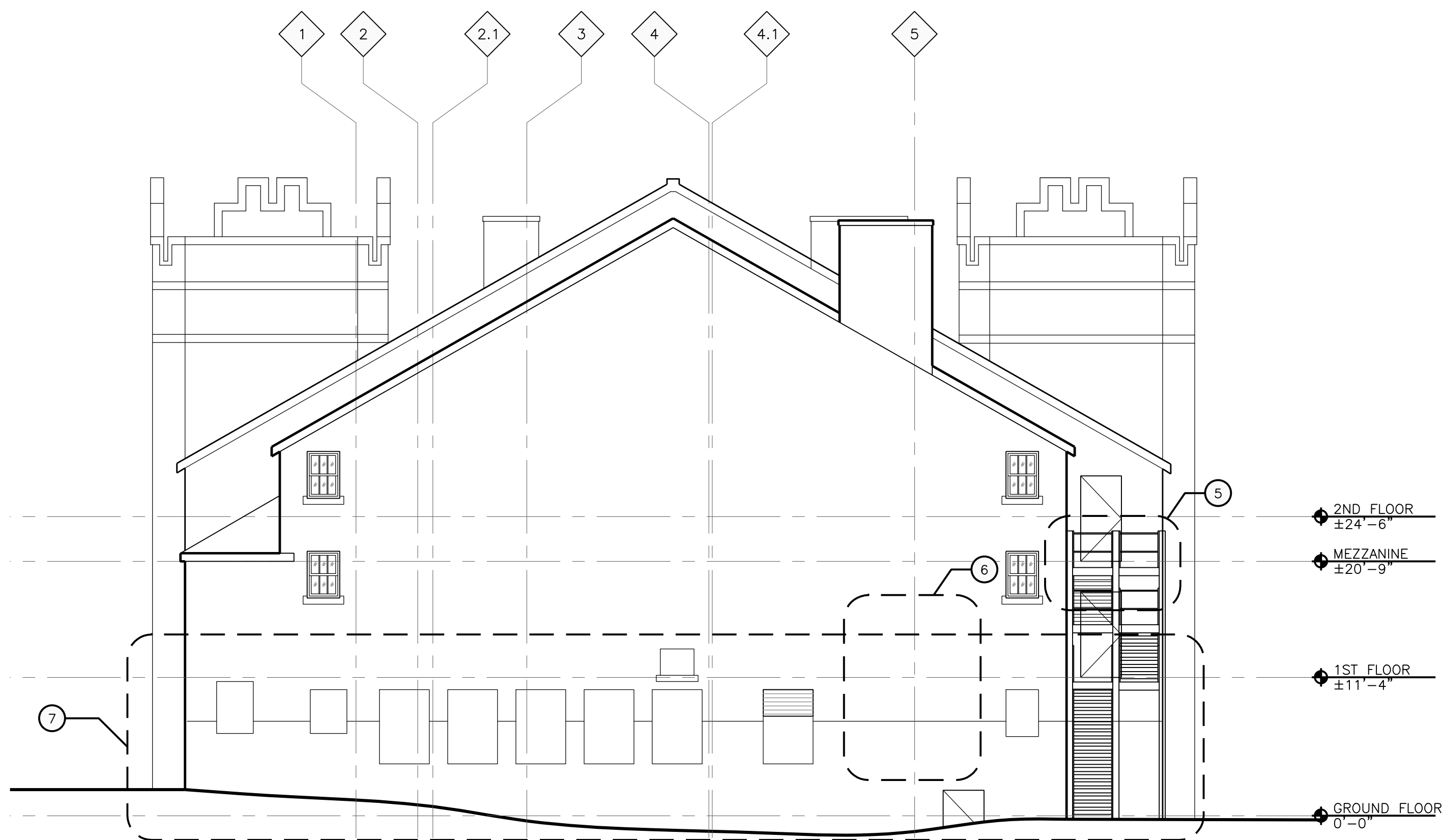
A202



PLOTTED ON 4/4/2014 11:08 AM | PLOTTED BY LAURA MANN



1
MASONRY SCOPE EAST ELEVATION
 A203 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS:



2
MASONRY SCOPE WEST ELEVATION
 A203 SCALE: 1/8" = 1'-0"
 REFERENCE LOCATIONS:

CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- ① REPAIR BRICK INFILL BELOW NEW WINDOW.
- ② REMOVE STEEL GRATES AND REPAIR REMAINING HOLES.
- ③ REMOVE WIRE MESH.
- ④ TUCKPOINT AREA.
- ⑤ REPAIR BROKEN, SPALLING, OR OTHERWISE DAMAGED BRICK.
- ⑥ EXISTING CRACK - REPAIR BRICK AND TUCKPOINT.
- ⑦ REMOVE PAINT.

RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS, AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THROUGH SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS, AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE MOST RESTRICTIVE OF THE FOLLOWING: SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES, NATIONAL PARK SERVICE REQUIREMENTS, STATE HISTORIC PRESERVATION OFFICE STANDARDS, OR OWNER'S REQUIREMENTS. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES, REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK AND STONE CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- D. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. USE ONLY OWNER APPROVED PRODUCTS AND NATURAL BRISTLE BRUSHES. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING OR MORTAR SMEAR. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURROUNDING AREAS.
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- F. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR.
- G. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OR CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- H. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- I. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- J. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- K. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. JOINTS SHALL BE RINSED WITH CLEAN WATER REMOVING DUST AND DEBRIS. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- L. ANY MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA.)
- M. ALL BROKEN AREAS OR HOLES IN LIMESTONE SHALL BE PATCHED WITH JAHN M70 LIMESTONE RESTORATION PATCHING MORTAR SPECIFICALLY COLORED TO MATCH THE SURROUNDING STONE IN ALL RESPECTS (INCLUDING TEXTURE) AND SHALL BE FLUSH.
- N. PRIOR TO PAINTING, POWER WASH ALL SURFACES TO RECEIVE PAINT, INCLUDING ALL STEEL, OVERHANGS, MASONRY, AND CONCRETE SURFACES.
- O. AFTER POWER WASHING, SCRAPE AND REMOVE ALL LOOSE, PEELED, CURLED, CRACKED, AND DELAMINATED PAINT FROM ALL SURFACES. WHERE CORROSION OCCURS AT FERROUS METAL, REMOVE PAINT AND CORROSION TO BARE BASE METAL. COAT SURFACE WITH PRIMER AND FINISH SURFACE PER SPECIFICATION AND FINISH SCHEDULE.

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100% DD SET	10-11-13
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Revision	Date

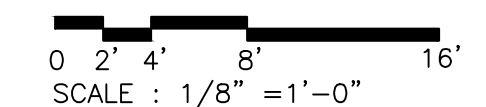
Date

Project Number 2013074

Sheet Title
MASONRY SCOPE ELEVATIONS

Sheet Number

A203



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Project Number 2013074

Sheet Title
MASONRY SCOPE ELEVATIONS

Sheet Number

A204

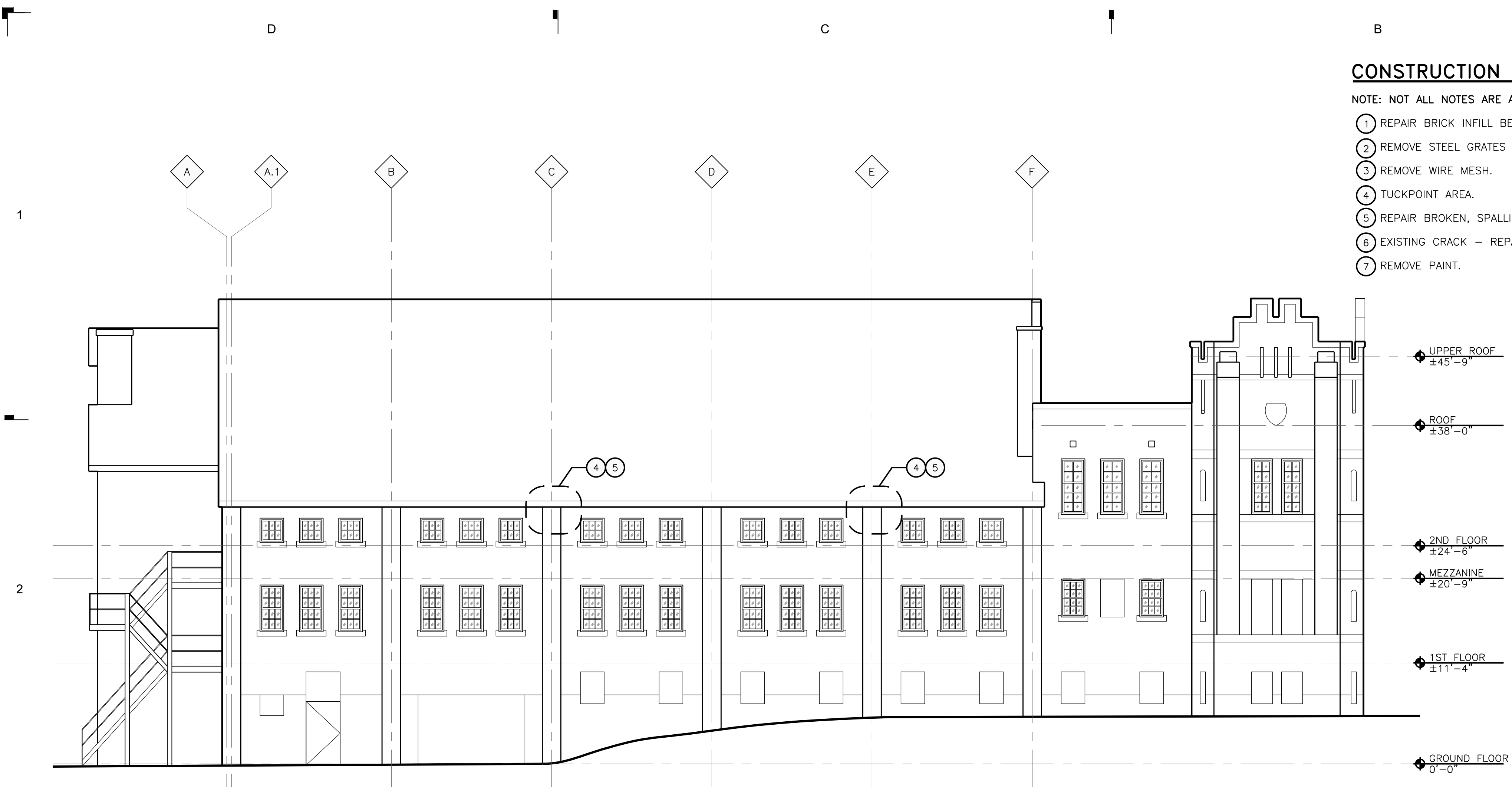
CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

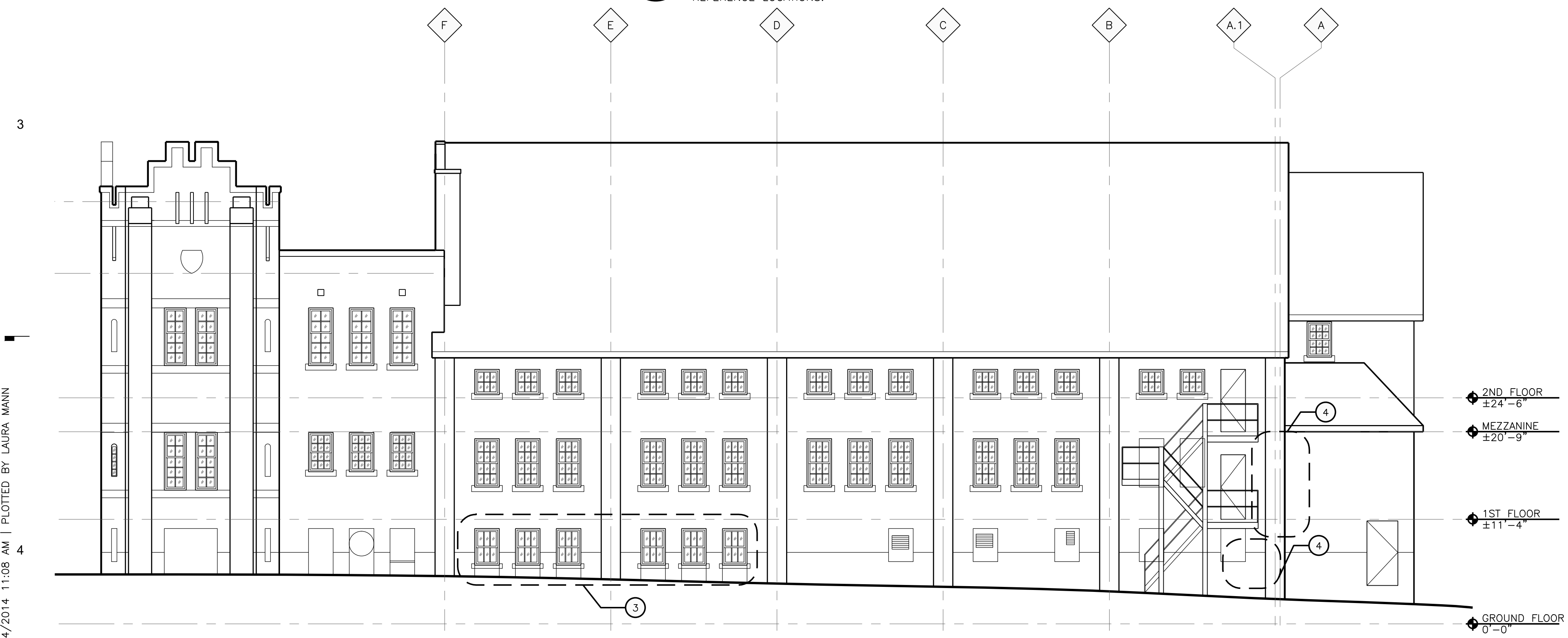
- 1 REPAIR BRICK INFILL BELOW NEW WINDOW.
- 2 REMOVE STEEL GRATES AND REPAIR REMAINING HOLES.
- 3 REMOVE WIRE MESH.
- 4 TUCKPOINT AREA.
- 5 REPAIR BROKEN, SPALLING, OR OTHERWISE DAMAGED BRICK.
- 6 EXISTING CRACK - REPAIR BRICK AND TUCKPOINT.
- 7 REMOVE PAINT.

RESTORATION GENERAL NOTES

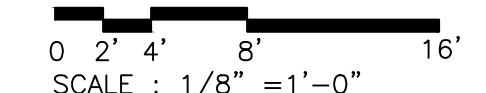
- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS, AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THROUGH SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS, AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE MOST RESTRICTIVE OF THE FOLLOWING: SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES, NATIONAL PARK SERVICE REQUIREMENTS, STATE HISTORIC PRESERVATION OFFICE STANDARDS, OR OWNER'S REQUIREMENTS. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES, REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK AND STONE CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
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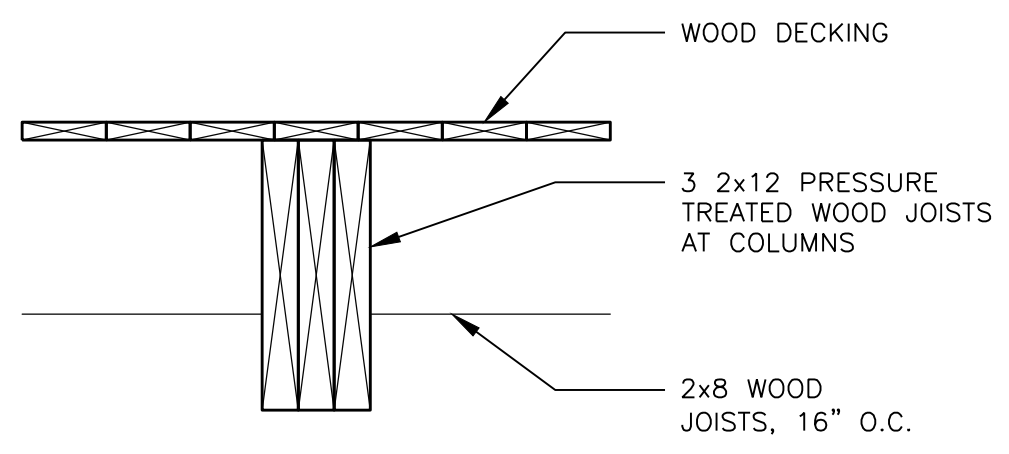


1 MASONRY SCOPE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
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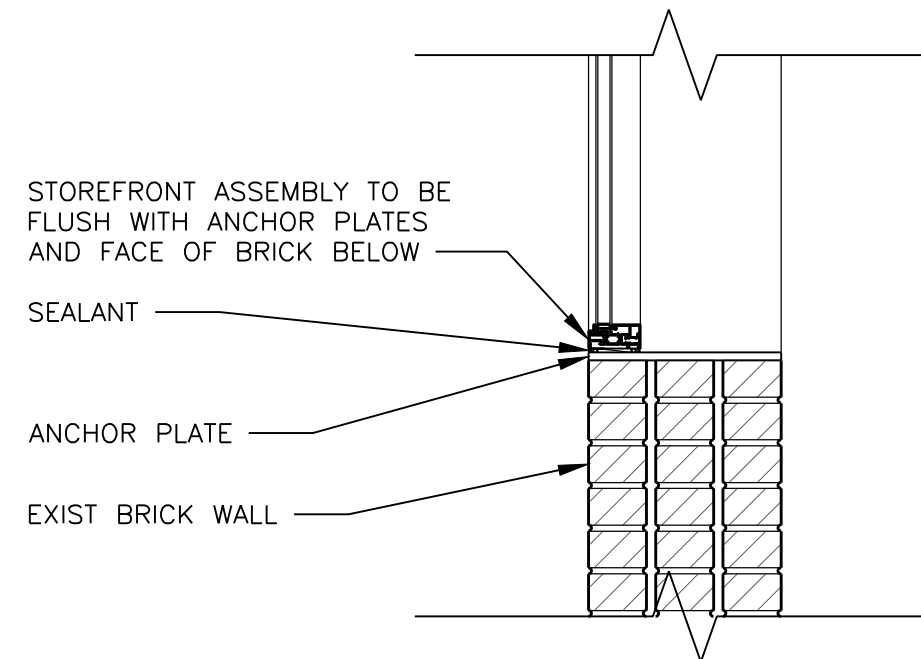


2 MASONRY SCOPE NORTH ELEVATION
SCALE: 1/8" = 1'-0"
REFERENCE LOCATIONS:

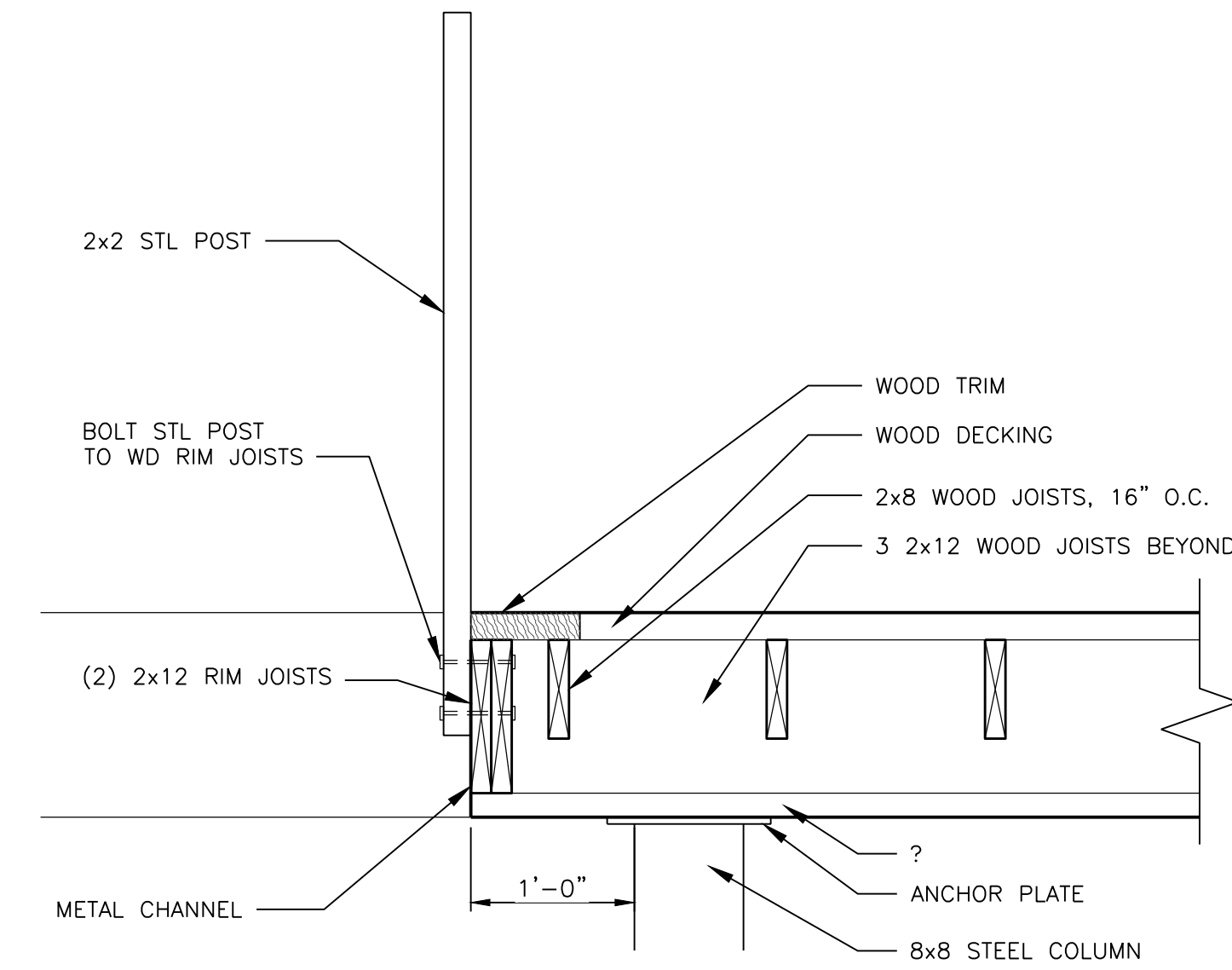




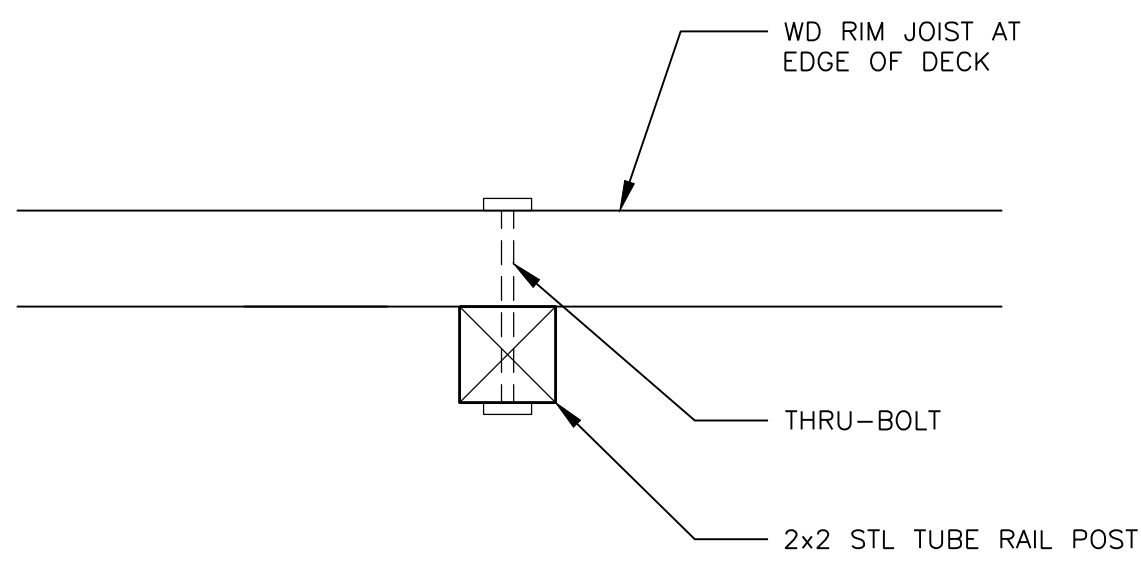
BALCONY DETAIL
 SCALE: 1 1/2"=1'-0"
 REFERENCE LOCATIONS:



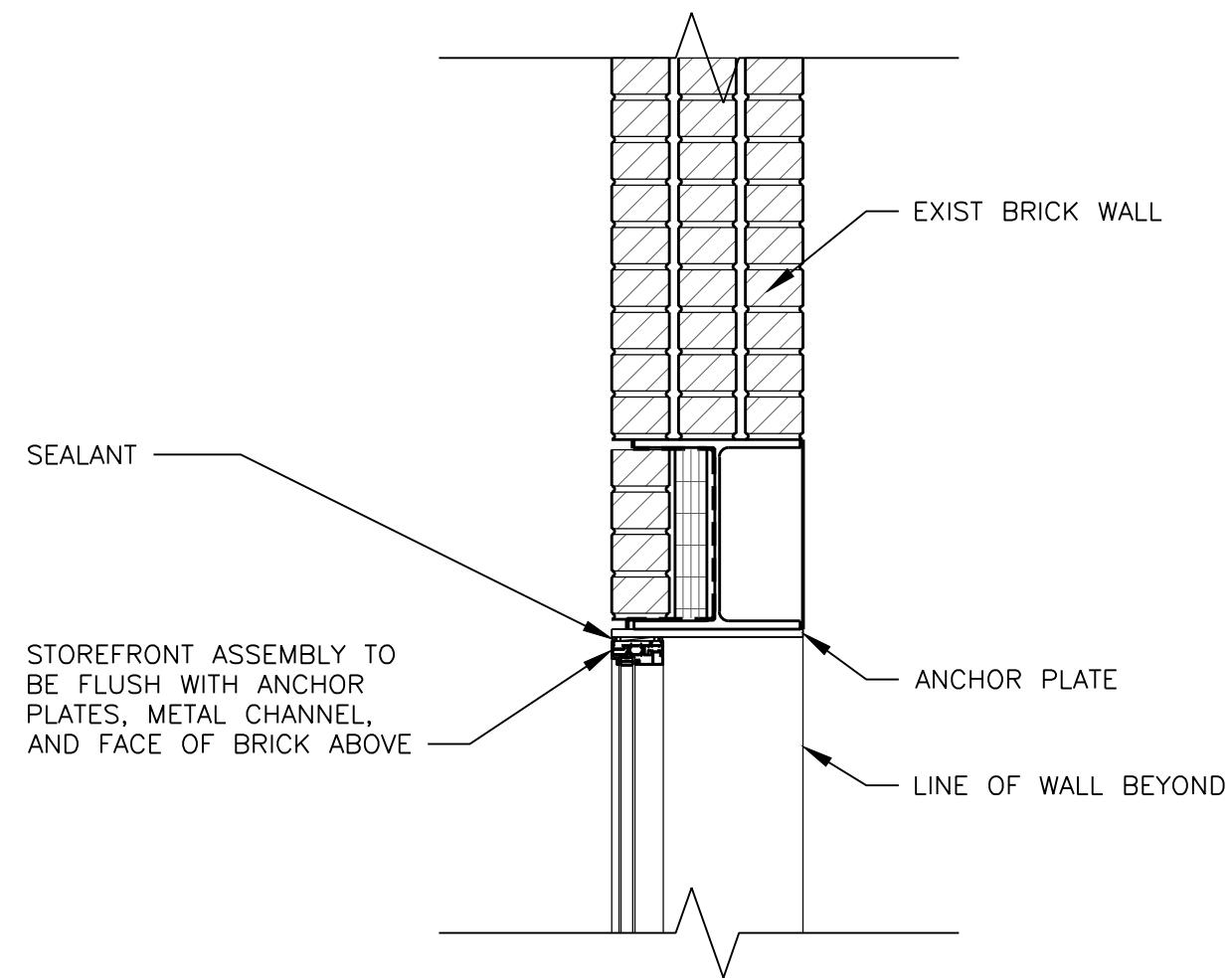
BALCONY WINDOW DETAIL
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 REFERENCE LOCATIONS:



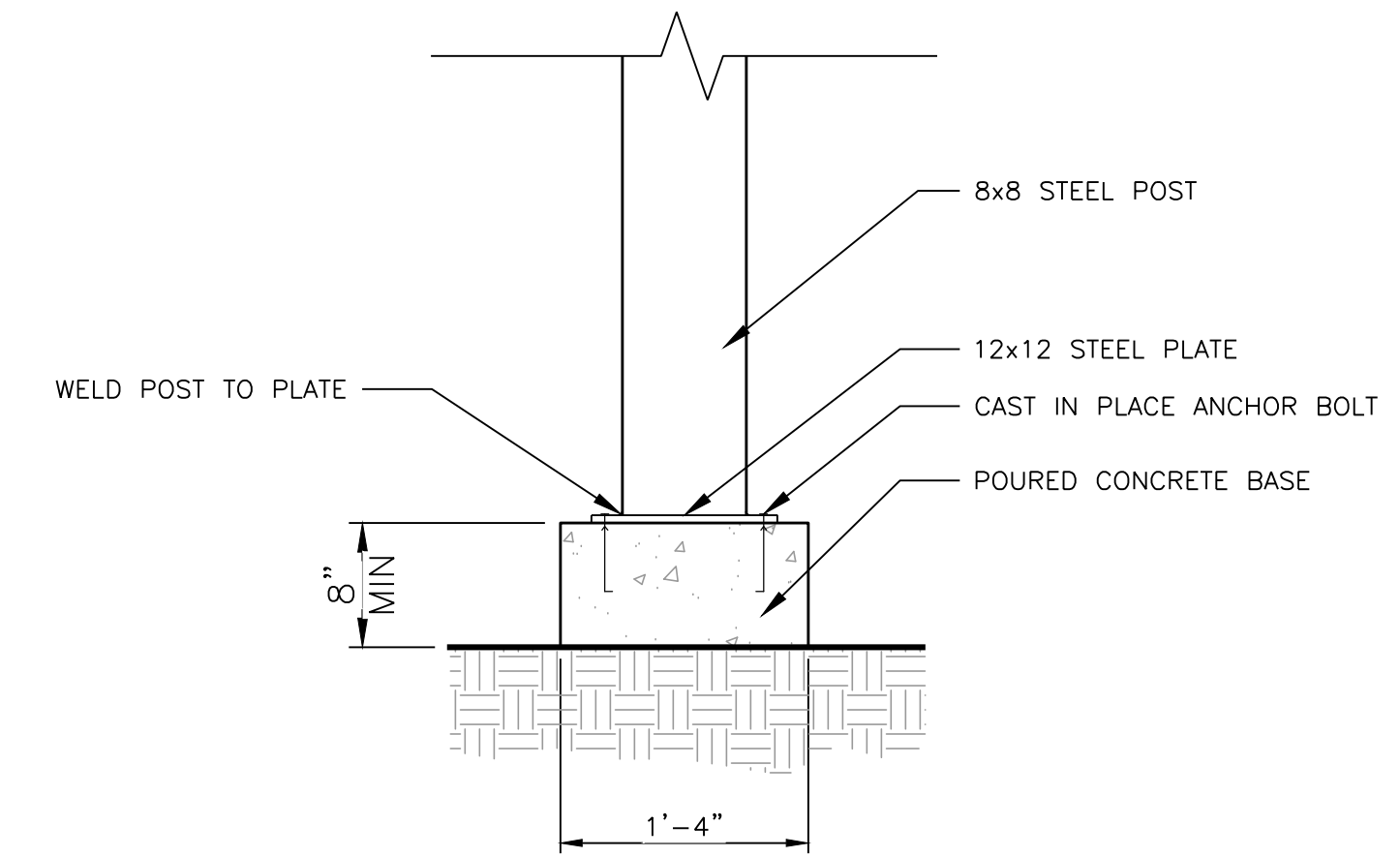
BALCONY DETAIL
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 REFERENCE LOCATIONS:



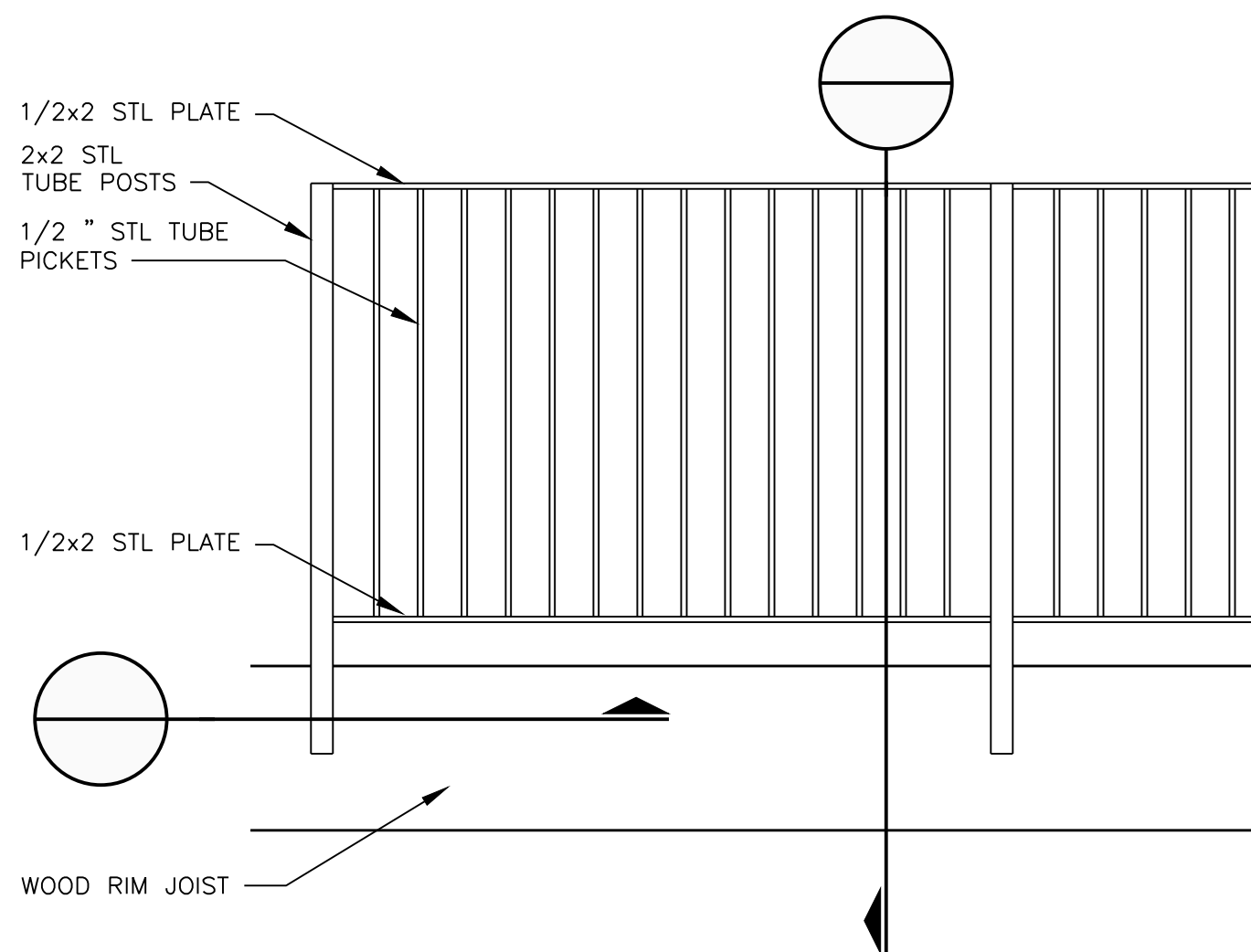
BALCONY RAIL DETAIL
 SCALE: 3"=1'-0"
 REFERENCE LOCATIONS:



BALCONY WINDOW DETAIL
 SCALE: 1"=1'-0"
 REFERENCE LOCATIONS:

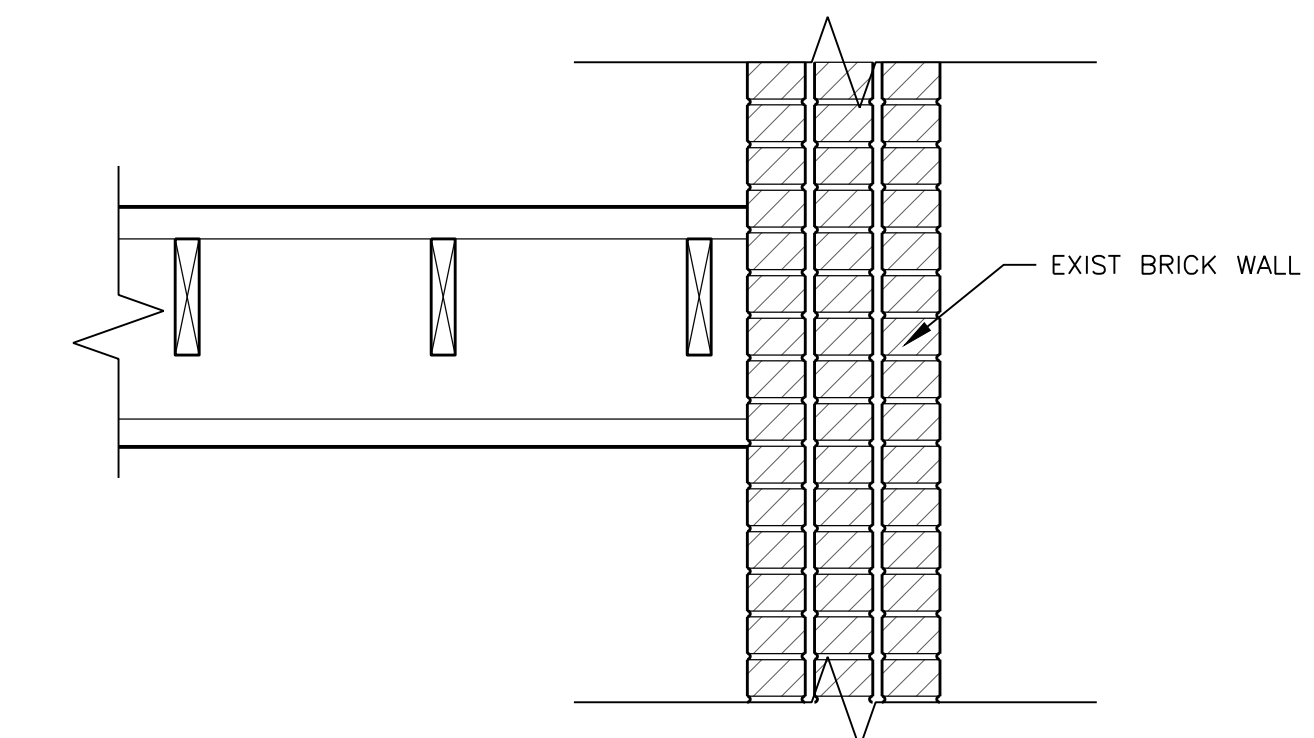


BALCONY POST DETAIL
 SCALE: 1"=1'-0"
 REFERENCE LOCATIONS:



BALCONY RAIL DETAIL
 SCALE:
 REFERENCE LOCATIONS:

DETAIL
 SCALE:
 REFERENCE LOCATIONS:



BALCONY DETAIL
 SCALE: 1"=1'-0"
 REFERENCE LOCATIONS:
 0 3" 6" 1' 2'
 SCALE: 1"=1'-0"

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EXTERIOR DETAILS